



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

CmDv CDBG HOUSING MINOR REHAB BID PACKET

**BIDS DUE BY:
SEPTEMBER 8, 2017
9:00 A.M.**

CmDv #1708 – CDBG ROOFING

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Contractor's Bid Proposal Price Sheet - Itemize price for each structure - Complete, sign, return in sealed Bid Proposal packet
Attachment #4	Scopes of Work and Photos - Roof work descriptions for 19 addresses



Jacques M. Roy
Mayor



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CmDv CDBG Housing Rehab Bid Packet - Submittal Conditions

BID SUBMITTAL DEADLINE / BID OPENING: 9am Friday, September 8, 2017

ATTENTION: *Qualified Contractors*

Please find attached the discipline specific BID SCOPES OF WORK (Attachment #4) described in each package. All sealed bid proposals must be delivered to the address in the letterhead above by the deadline specified.

The SEALED bid package must bear your Community Development issued Qualified Contractor ID# on the OUTSIDE FRONT of the envelope. Packages without this information will immediately be rejected and unopened. No email, faxed or call-in bids will be accepted.

Inside the bid proposal package submitted, shall include the signed Bid Proposal Price sheet(s) (Attachment #3). All bids shall be signed by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. This sheet must include a total price for each houses listed. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, DUNS Number and Contractor Authorized Signature. Any proposal without this information will immediately be rejected. You are not required to submit the individual work description or picture pages of each bid packet grouping. If you have questions about the submittal of documentation, contact the Rehab Program Manager at (318) 449-5074.

Bidders are responsible to read all Attachments 1-4. The terms applicable to the bid award and contract are defined and may affect bid proposal pricing.

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the bid packet. The City Inspector does not have to accompany you to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner has no authority to alter the scope. The scope of work includes pictures taken by the City Inspector to assist in the description of work. If you have questions concerning the scope of work description, contact the City Inspector at (318) 449-5069.

All bidders will be provided with a Bid Tabulation result sheet within 10 calendar days after the bid opening. Awarded contracts will be fully executed within thirty (30) calendar days of the bid tabulation. The date and time will be scheduled by the Rehab Program Manager and you will be notified.

We appreciate your interest in working with Community Development on this Federally funded program to improve the housing standards in our community!



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Rehab Bid Packet – General Conditions

1. It is the intent of the City of Alexandria's Community Development Department on behalf of the qualified homeowner to secure bid proposals for scopes of work for Rehab repairs at various privately owned residential properties within the Alexandria City limits.
2. Said bid packet shall consist of: Cover Page; Submittal Conditions (Attachment 1); General Conditions (Attachment 2); Bid Proposal Price Sheet (Attachment 3); and Work Description with photographs (Attachment 4).
3. Proposals must be submitted on the Bid Proposal Price Sheet (Attachment #3) provided. Proposals submitted in any other form will be considered non-responsive and will be rejected.
4. No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
5. All bid prices shall include any and all material, labor, equipment, tax and freight charges.
6. Bid Proposal Price Sheets without completed signature /company information will automatically be rejected.
7. Contractor shall honor all work performed, labor and materials installed for a period of one (1) year.
8. All new Contractors submitting a proposal for the first time will be required to complete one unit prior to signing additional contracts, in the event they are awarded multiple addresses.
9. The Contractor shall procure all permits and licenses under federal, state and local laws, pay all charges and fees. The City of Alexandria reserves the right to inspect any and all permits and licenses at any time prior to or during the construction process. The Contractor shall send copies of all permits and licenses to the City of Alexandria, within 5 days of beginning any construction project.
10. The Contractor shall be responsible for securing the Rehab Permit within 10 business days of contract signing. If applicable, multiple Rehab Permits may be issued to a Contractor at any given time. If the Contractor chooses, Rehab Permits may be issued at one time, as the units are completed, however, no more than thirty (30) days will be allowed between the issuance of each Rehab Permit.
11. Contractor agrees to satisfactorily complete the work within thirty (30) consecutive calendar days from the date of the Notice to Proceed / Rehab Permit issuance. No rain days or holidays will be allowed to extend the contract completion date without written permission from the Administrator.
12. Due to the nature of Rehab Repair work, some conditions of the repair may be unknown until the work is in progress. Contractor is responsible to account for these conditions in the bid proposal price submitted. Due to the Federal funding limitations of the program, change orders will be considered on a case by case basis, only where unforeseen conditions are disclosed during the course of the work which are necessary to complete the defined scope of work. If an error escapes our detection in the work description, that oversight shall not relieve the contractor of the responsibility of complete compliance with the requirements of the city's adopted codes and ordinance. The Contractor shall carefully



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study and compare work description with pictures and shall at once report to the City Inspector any error, inconsistency, or omission he may discover.

13. The Contractor shall not negotiate the scope of work with the property owner. Any potential changes to the scope of work must be approved in writing by the Community Development Administrator.
14. Whenever quantities or usages are provided by in the work descriptions, these quantities are estimates only. No guarantee or warranty is given or implied by the City of Alexandria as to the total amount that may or may not be required to complete the work. These estimated numbers may be used to calculate total bid prices.
15. All materials and products shall be new and un-used. Material products shall be of Builder Grade minimum and meet all requirements for code compliance with the current adopted version of the International Residential Building Code. Each respective bidder shall be responsible for insuring that his/her product meets or exceeds this specification.
16. The Owner will be required to allow the Contractor to use, at no cost, existing utilities such as light, heat, power, and water necessary to carry out and complete of the work.
17. The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for coordination of all portions of the work under the Contract. The Contractor is responsible for getting all of the warranties and releases to the Owner.
18. The Contractor shall comply with all Federal, State and local laws, ordinances and regulations affecting the construction / repair of the buildings and appurtenances, and shall defend, indemnify, and hold harmless, the City and its representatives against any claim or liability arising from violation of any such law, ordinance or regulation.
19. Upon satisfactory completion of the repair, the Contractor is subject to random inspections and must schedule a final inspection. The Contractor must be present for each inspection to ensure work is code complaint and to ensure the job site has been left in a safe condition daily.
20. If required in the scope of work description or if required by law, the Contractor shall provide the City of Alexandria with asbestos and/or lead based paint test survey, pursuant to the standards of the Environmental Protection Agency and/or the Louisiana Department of Environmental Quality.
21. If any materials are found to contain Lead Based Paint and are defined in the scope of work for removal, that work shall be performed by an EPA Certified Abatement Contractor, who will act as a subcontractor under the Prime Contractor.
22. If required in the scope of work description or if required by law, the Contractor is responsible for obtaining a Lead Paint Clearance Test. All paint chip, dust or soil samples shall be collected and analyzed in accordance with standards established by the State under a program authorized by EPA in accordance with 40 CFR 745.89 and by Guidelines for the Evaluation and Control of Lead Based Paint Hazards in Housing 24 CFR 35. All Clearance Testing must be performed by a State Licensed Lead Paint Risk Assessor. A copy of the State License and Clearance Report will be required prior to payment. The Contractor must be trained in accordance with the Toxic Substances Control Act Section 402 and received certification by EPA to conduct lead based paint renovation, repair and painting activities pursuant to 40 CFR 745.89.



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23. All "nonexempt" construction or demolition debris shall be properly disposed of in a DEQ approved permitted disposal site or transfer facility according to DEQ regulations. Weighing tickets must be submitted to the Community Development Department as documentation of proper disposal prior to receiving payment. This may be subject to an audit by the City of Alexandria.
24. The Contractor agrees to carry a commercial general liability policy that covers both bodily injury and property damages in an amount of no less than \$100,000 in liability coverage. In no event shall the commercial general policy limits be less than the value of the structure to receive work. Additionally, the Contractor shall provide the City with a current Certificate of Insurance setting forth all insurance requirements.
25. The Contractor agrees to carry Workers' Compensation Insurance pursuant to Louisiana Law. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have Workers' Compensation Insurance in full force and effect.
26. The Contractor shall furnish satisfactory evidence of commercial automotive liability insurance coverage not less than the minimum State Law requirements on all vehicles being used on this project in the contract award. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have commercial automotive liability insurance in effect.
27. Parties involved are to understand that all salvage rights belong to the Contractor.
28. The Contractor shall defend, indemnify, and hold harmless, the City and its representatives against all claims arising from injuries to persons or damages to property due to neglect by the contractor.
29. Pursuant to LA R.S 38:2212.1C.2, any manufacturer's preference provided is descriptive, but non-restrictive, and is used only to indicate minimum requirement for type, grade and quality unless otherwise specified.
30. Pursuant to LA R.S. 38:2212.A.1.b, the provisions and requirement of this bid shall not be considered as informalities and shall not be waived by the City of Alexandria. Therefore, conditions and specifications on this bid form shall be strictly enforced and any and all alterations, deviations, and non-compliance to said conditions and specifications, either on the bid form or by separate attachment, shall be grounds for immediate disqualification.
31. In case of a mathematical discrepancy between unit price and extensions, the unit price shall prevail.
32. All erasures or corrections on the bid form must be initialed and the City of Alexandria may rely on the apparent authority represented by the initials.
33. The City of Alexandria, on behalf of the Owner, reserves the right to reject for cause any and all bids or parts of bids, or accept bids most beneficial to the Owner. Conditional proposals, or those which take exception to the specifications, will be considered non-responsive and will be rejected.
34. Contractor shall furnish all labor, materials, and equipment necessary to accomplish all of the work required by the General Conditions and Work Description for the Rehab Program of the attached properties. Labor shall be performed by skilled and competent craftsmen. The Community Development Inspector, with the authority of the Owner, shall have the right to have personnel removed from the job who are not performing their services in a workmanlike manner. All



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materials shall be cut and fit tight and nailed in place on the job. Materials shall be free from all pencil and kerfed marks. Finish materials shall be selected by the Contractor to match the quality, color and décor of existing like materials in the house.

35. Contractor agrees to provide a drug free workplace which prohibits the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in the workplace. Contractor or any of their workers or subcontractors will be prohibited from smoking inside a person's residence.
36. Keep premises clean and orderly during the course of work and remove all debris upon completion of work. Any and all materials and equipment removed and replaced as part of the work shall belong to the Contractor. Where buildings to be remodeled are furnished and occupied by Owners or their tenants, the prime Contractors, and Sub-Contractor shall make all allowances in their proposals for whatever inconvenience is incurred, i.e., working around furniture, adjusting working hours to accommodate Owners or tenants daily routines, etc. The Contractor shall cover all carpets furniture, etc. in the work area with drop clothes. Passageways and hallways shall be kept clear of debris, lumber, or equipment. Bulk materials may not be stored inside the building. The Owner shall make a reasonable effort to move furniture and rugs to create clear working space for the Contractor.
37. When any bid is accepted for the construction, a written contract shall be executed by and between the Property Owner and the Contractor. No Rehab Contract between the Owner and the Contractor can be executed until a grant agreement has been executed by the Mayor of the City of Alexandria and the Property Owner. Should the bidder to whom the contract is awarded fail to execute the contract, the award shall then be made to the next lowest responsible responsive bidder, or re-advertised for public bid, said decision to be in the sole judgment of the Administrator, on behalf of the Owner. This action may result in debarment and the loss of bidding privileges for a period of two (2) years.
38. Contractor shall be paid 100% of the contract amount payable within thirty (30) calendar days after receipt of Final inspection with the signed Owner & Contractors Acceptance form; Warranty & Release form; Contractor Release of Lien Affidavit; AFEAT Compliance Form; and the Contractors final invoice with Owners approval.
39. On any bid proposals awarded, the Contractor shall be required to furnish a list of all suppliers and sub-contractors on each Property location project awarded. In addition, each sub-contractor listed shall have amount of said sub-contract stated. Documentation will be sent to the Contractor via email one week before the scheduled contract signing date so that it is completed by the time of signing.
40. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's AFEAT (Alexandria Fairness, Equality, Accessibility, and Teamwork) Program. Participation by minority and/or disadvantaged business enterprise firms is encouraged. The AFEAT Program should be inquired about through the City's Legal Division.
41. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's Non-Discrimination Statement. The Non-Discrimination Program should be inquired about through the City's Legal Division.



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42. Any bidder that is found listed on the Federal Government's SAM's (System for Award Management) website at www.sam.gov/portal/sam, under the advanced search feature for EPLS (Excluded Parties List System), shall automatically be rejected for the award of this bid, by Category and/or in its entirety.
43. The Contractor shall exercise proper precaution at all times from the protection of persons and property and shall be responsible for all damages to persons for property, either on or off the site, which occur as a result of his prosecution. Codes shall be observed and the contractor shall take or cause to be taken such additional safety and health measures as the Community Development Department may determine to be reasonably necessary. Machinery, equipment, and all hazards shall be awarded in accordance with safety provisions of the "Manual of Accident Prevention in Construction" published by the Associated General Contractors of America, Inc., to the extent that such provisions are not in conflict with applicable local laws.
44. Upon request by the City, the successful bidder may be required to furnish additional information on material(s) and/or product(s) bid for evaluation purposes.
45. One copy of the Parts Manual, Service Manual, Operator's Manual and/or Warranty for all products and materials installed shall be given to the Property Owner by the Contractor once the work is complete.
46. The Contractor and Owner will agree that should any dispute arise concerning the work performed under the Contract Agreement, payment, or warranty, the parties agree to submit the dispute to the Community Development Office for a resolution in accordance with Article XVII of the Program Guidelines and such determination will be final and without recourse.
47. Debarment: All work performed will be guaranteed by the Contractor for a period of one (1) year following Final Payment. Any Contractor who continually fails to correct valid homeowner complaints within this period or any Contractor found in Default of a Contract will be notified by certified mail that he has been debarred and no further proposals will be accepted from him for a period of two (2) years following debarment.
48. The Contractor by the execution of the Contract shall in no way be relieved of any obligation under it due to his failure to receive or examine any form of legal instrument or to visit the site and acquaint himself with the conditions there existing and Community Development will be justified in rejecting any claims based on "Conditions", latent or otherwise.
49. The Contractor shall be advised that no member or Delegate to the Congress of the United States, and no Resident Commissioner, shall be admitted to any share or part of any possible bid award or to any benefit to arise from the same.
50. The Contractor shall be advised that no member, officer, or employee of the Local Public Body, or its designees or agents, non-member of the governing body of the locality in which the (Program, Project, or Similar) is situated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the (Program, Project or Similar) during their tenure or for one year thereafter, shall have any interest, direct or indirect, in any Contract or Sub-Contract, or the proceeds thereof, for work to be performed in connection with the (Program, Project, etc).



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CmDv Housing Minor Rehab Bid Packet - Contractor's Bid Proposal Price Sheet

The undersigned offers to complete the CDBG Housing Rehab of the following residences at the payment price stated for EACH housing unit listed on this sheet. The buildings herein offered for repair will be awarded to the lowest most responsive responsible bidder. The city reserves the right to reject any and all proposals.

#	MPN Project #	Address	Property Owner	Phone #	Itemized Price per structure	Owner's Initials for Acceptance of Bid Price
1	12757	1954 MONROE ST	BARBARA SHEPARD	318.792.4626		
2	12803	2743 9 TH ST	KATHY HAZEL	318.613.8153		
3	12902	2540 LOS ANGELES ST	WILLIE JONES	318.445.5296		
4	12903	426 EVANGELINE CR	LEIGH SCOTT	318.625.2667		
5	12911	2228 NOBLE ST	BRENDA ALLEN	318.625.2210		
6	12912	3829 ELDER ST	VERGIE ROSS	318.445.9913		
7	12926	2626 3 RD ST	SHERRIE COOPER	318.730.0409		
8	12934	2601 8 TH ST	DOROTHY DAUZAT	318.730.4570		
9	12658	3512 EVERGREEN	HATTIE OSTEEN	3186232152		
10	12945	1798 MARYE ST	ALEXIS GREEN	318.613.4630		
11	12970	2905 HARRIS ST	JAMES SIBLEY	318.448.2485		
12	12953	3511 ROYAL DR	EDNA RACHAL	318.792.1972		
13	12968	4409 3 RD ST	JACQUELINE WOODARD	318.955.8659		
14	12966	1233 PARK AVENUE	ANNIE CANNON	318.290.9778		
15	12971	5224 SALLIE ST	RUBY BIENVENUE	318.730.1160		
16	12977	520 DASPIT ST	WILBUR ALLEN	318.2901511		
17	12948	1212 PETRUS	JACQUELINE TENNIE	678.596.7949		
18	12979	1208 APPLEWHITE	RONNIE JONES	318.625.5270		
19	12992	516 DASPIT ST	EMMA C GREEN	318.445.2897		
ROOFING - ITEMIZE PRICE FOR EACH PROPERTIES LISTED ABOVE						



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 Mayor



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1. Proposals must be submitted on this Bid Proposal Price Sheet (Attachment #3). Submitted in any other form will be considered non-responsive and will be rejected.
2. No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
3. All bid prices shall include any and all material, labor, equipment, tax and freight charges.
4. Bid Proposal Price Sheets without completed signature /company information will automatically be rejected. All information must be completed in ink. Signature must be hand-written. Electronic or stamped signatures will be rejected. All information requested below must be in print, with the exception of the Authorized Signature.
5. The Contractor is responsible for contacting each Homeowner to schedule an appointment to estimate their bid proposal. The Contractor is also responsible to review the scope of work and pictures, the submittal conditions and general conditions disclosures. By signing this form, the Contractor accepts responsibility for the extent and character of work to be performed.

COMPANY NAME _____ DATE _____

STREET ADDRESS _____ P O BOX _____

CITY _____ STATE _____ ZIP _____

TELEPHONE NUMBER _____ DUNS NUMBER _____

AUTHORIZED SIGNATURE: _____



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Case Number: CD-12757
Address: 1954 MONROE STREET

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	3 roof jacks	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	3 possible	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	multiple spots, hole in decking on left side	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award		
	TOTAL	\$

Project Number: **CD-12757**
Address: **1954 MONROE STREET**
Inspection Date: **4/14/2016**



6/20/2017 12:24:29 PM



6/20/2017 12:24:33 PM



6/20/2017 12:24:31 PM

Case Number: CD-12803
Address: 2743 9TH STREET

Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.</p>	<p>3 roof jacks</p>	
<p>Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.</p>	<p>3</p>	
<p>Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.</p>	<p>back, valley-back right</p>	
<p>Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.</p>		
	TOTAL	\$

Project Number: **CD-12803**
Address: **2743 9TH STREET**
Inspection Date: **8/29/2016**



6/7/2017 10:57:36 AM

6/7/2017 10:56:23 AM

Case Number: CD-12902
Address: 2540 LOS ANGELES

Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.</p>	<p>1 layer shingles</p>	
<p>Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.</p>	<p>dining room, back bedroom, addition on rt side of house</p>	
<p>Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.</p>	<p>4 possible</p>	
<p>Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.</p>		
	<p>TOTAL \$</p>	

Project Number: **CD-12902**
Address: **2540 LOS ANGELES**
Inspection Date: **6/8/2017**



6/15/2017 11:21:59 AM



6/15/2017 11:21:56 AM



6/15/2017 11:22:06 AM



6/15/2017 11:22:04 AM

Case Number: CD-12903
Address: 426 EVANGELINE circle

Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.</p>		
<p>Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.</p>	back right side, and unseen	
<p>Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.</p>	numerous	
<p>Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.</p>		
	TOTAL \$	

Project Number: **CD-12903**
Address: **426 EVANGELINE circle**
Inspection Date: **6/9/2017**



6/15/2017 11:50:37 AM

6/15/2017 11:50:36 AM



6/15/2017 11:50:41 AM

6/15/2017 11:50:39 AM

Case Number: CD-12911

Address: 2228 Noble

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	1 roof jack	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	over kitchen	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	over kitchen window, back of house	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12911**
Address: **2228 Noble**
Inspection Date: **6/20/2017**



6/20/2017 12:36:29 PM



6/20/2017 12:36:22 PM



6/20/2017 12:36:42 PM



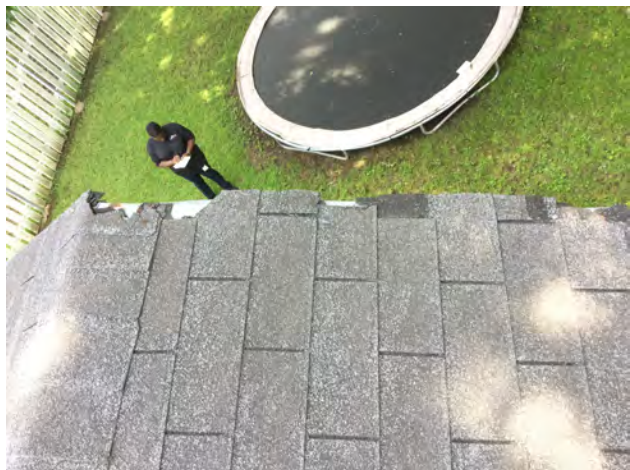
6/20/2017 12:36:36 PM

Case Number: CD-12912

Address: 3829 Elder

Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.</p>	<p>1 layer 3 roof jacks</p>	
<p>Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.</p>		
<p>Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.</p>		
<p>Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.</p>		
	TOTAL	\$

Project Number: **CD-12912**
Address: **3829 Elder**
Inspection Date: **6/9/2017**



6/15/2017 10:51:39 AM



6/15/2017 10:51:38 AM



6/15/2017 10:51:48 AM



6/15/2017 10:51:44 AM

Case Number: CD-12926

Address: 2626 3RD

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.		
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	2nd and back bedrooms, hallway	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	Multiple spots. several spots has holes in decking- can see felt paper from attic	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12926**
Address: **2626 3RD**
Inspection Date: **6/8/2017**



6/16/2017 8:04:25 AM

6/16/2017 8:04:23 AM



6/16/2017 8:04:26 AM

Case Number: CD-12934

Address: 2601 8th

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	2 roof jacks	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	2	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	right side	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12934**
Address: **2601 8th**
Inspection Date: **6/7/2017**



6/7/2017 11:53:42 AM



6/7/2017 11:53:34 AM

Case Number: CD-12658
Address: 3512 EVERGREEN DRIVE

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	6 roof jacks	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	multiple	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	back valley, unseen	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12658**
Address: **3512 EVERGREEN DRIVE**
Inspection Date: **11/28/2016**



5/17/2017 11:27:11 AM

4/29/2015 3:44:43 PM



5/17/2017 11:27:19 AM

5/17/2017 11:27:17 AM

Case Number: CD-12945

Address: 1798 Marye

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.		
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.		
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	where needed	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award		
	TOTAL	\$

Project Number: **CD-12945**
Address: **1798 Marye**
Inspection Date: **6/20/2017**



6/20/2017 1:35:36 PM

6/20/2017 1:35:33 PM



6/20/2017 1:36:06 PM

6/20/2017 1:36:04 PM

Case Number: CD-12970

Address: 2905 Harris

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	2 layers of asphalt shingles 2 roof jacks	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	back left side-rotten decking, right side next to roof jack-rotten deckin	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	back left side, right side near roof jack, check for unseen	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12970**
Address: **2905 Harris**
Inspection Date: **7/14/2017**



7/14/2017 2:17:27 PM



7/14/2017 2:17:18 PM



7/14/2017 2:17:38 PM



7/14/2017 2:17:33 PM

Case Number: CD-12953

Address: 3511 Roval

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	1 roof jack	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.		
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12953**
Address: **3511 Royal**
Inspection Date: **6/27/2017**



6/28/2017 7:27:40 AM



6/28/2017 7:27:37 AM



6/28/2017 7:27:44 AM



6/28/2017 7:27:41 AM

Case Number: CD-12968
Address: 4409 3rd STREET
Inspection Date: 7/13/2017

Question	Comment	Amount
Feasible to invest in structure?		
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	1 layer of shingles and 1 layer of roll rhynoroof exist 4 roof jacks	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	back bedroom	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	1	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12968**
Address: **4409 3rd STREET**
Inspection Date: **7/13/2017**



7/13/2017 1:41:17 PM



7/13/2017 1:41:14 PM



7/13/2017 1:48:46 PM

Case Number: CD-12966

Address: 1233 Park Ave

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	1 layer, 5 roof jacks	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12966**
Address: **1233 Park Ave**
Inspection Date: **7/14/2017**



7/14/2017 2:24:59 PM



7/14/2017 2:24:55 PM



7/14/2017 2:25:13 PM



7/14/2017 2:25:05 PM

Case Number: CD-12971
Address: 5224 SALLIE ST

Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.</p>	<p>2 roof jacks 2 vents</p>	
<p>Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.</p>		
<p>Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.</p>		
	TOTAL	\$

Project Number: **CD-12971**
Address: **5224 SALLIE ST**
Inspection Date: **7/17/2017**



7/17/2017 2:35:40 PM



7/17/2017 2:35:39 PM



7/17/2017 2:35:55 PM



7/17/2017 2:35:42 PM

Case Number: CD-12977
Address: 520 DASPIT
Inspection Date: 7/20/2017

Question	Comment	Amount
Feasible to invest in structure?		
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	5 roof jacks,	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	on back between roof jack and turbine	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	on back between roof jack and turbine, and unseen	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12977**
Address: **520 DASPIT**
Inspection Date: **7/20/2017**



7/20/2017 2:33:15 PM



7/20/2017 2:32:57 PM



7/20/2017 2:33:20 PM



7/20/2017 2:33:18 PM

Case Number: CD-12948
Address: 1212 PETRUS
Inspection Date: 8/1/2017

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	5 roof jacks	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.		
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12948**
Address: **1212 PETRUS**
Inspection Date: **8/1/2017**



8/1/2017 1:06:58 PM



8/1/2017 1:06:55 PM



8/1/2017 1:07:01 PM



8/1/2017 1:07:00 PM

Case Number: CD-12979
Address: 1208 APPLEWHITE

Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.</p>	<p>2 roof jacks</p>	
<p>Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.</p>	<p>living, kitchen</p>	
<p>Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.</p>	<p>2</p>	
<p>Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.</p>		
	TOTAL	\$

Project Number: **CD-12979**
Address: **1208 APPLEWHITE**
Inspection Date: **7/21/2017**



7/21/2017 11:17:35 AM



7/21/2017 11:17:34 AM



7/21/2017 11:19:05 AM

Case Number: CD-12992

Address: 516 DASPIT

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite.	9 roof jacks	
Repair all spot leaks in existing roof. This may require replacement of decking, felt and shingles.	At electrical service riser	
Repair all spot areas of deteriorated roof decking. This may require replacement of decking, felt and shingles.	At electrical service riser	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12992**
Address: **516 DASPIT**
Inspection Date: **8/8/2017**



8/8/2017 7:18:29 AM



8/8/2017 7:18:28 AM



8/8/2017 7:18:55 AM



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

CmDv CDBG HOUSING MINOR REHAB BID PACKET

**BIDS DUE BY:
SEPTEMBER 8, 2017
9:00 A.M.**

CmDv #1709 – CDBG ELECTRICAL

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Contractor's Bid Proposal Price Sheet - Itemize price for each structure - Complete, sign, return in sealed Bid Proposal packet
Attachment #4	Scopes of Work and Photos - Electrical work descriptions for 8 addresses



Jacques M. Roy
Mayor



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

CmDv CDBG Housing Rehab Bid Packet - Submittal Conditions

BID SUBMITTAL DEADLINE / BID OPENING: 9am Friday, September 8, 2017

ATTENTION: *Qualified Contractors*

Please find attached the discipline specific BID SCOPES OF WORK (Attachment #4) described in each package. All sealed bid proposals must be delivered to the address in the letterhead above by the deadline specified.

The SEALED bid package must bear your Community Development issued Qualified Contractor ID# on the OUTSIDE FRONT of the envelope. Packages without this information will immediately be rejected and unopened. No email, faxed or call-in bids will be accepted.

Inside the bid proposal package submitted, shall include the signed Bid Proposal Price sheet(s) (Attachment #3). All bids shall be signed by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. This sheet must include a total price for each houses listed. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, DUNS Number and Contractor Authorized Signature. Any proposal without this information will immediately be rejected. You are not required to submit the individual work description or picture pages of each bid packet grouping. If you have questions about the submittal of documentation, contact the Rehab Program Manager at (318) 449-5074.

Bidders are responsible to read all Attachments 1-4. The terms applicable to the bid award and contract are defined and may affect bid proposal pricing.

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the bid packet. The City Inspector does not have to accompany you to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner has no authority to alter the scope. The scope of work includes pictures taken by the City Inspector to assist in the description of work. If you have questions concerning the scope of work description, contact the City Inspector at (318) 449-5069.

All bidders will be provided with a Bid Tabulation result sheet within 10 calendar days after the bid opening. Awarded contracts will be fully executed within thirty (30) calendar days of the bid tabulation. The date and time will be scheduled by the Rehab Program Manager and you will be notified.

We appreciate your interest in working with Community Development on this Federally funded program to improve the housing standards in our community!



Jacques M. Roy
Mayor



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

Rehab Bid Packet – General Conditions

1. It is the intent of the City of Alexandria's Community Development Department on behalf of the qualified homeowner to secure bid proposals for scopes of work for Rehab repairs at various privately owned residential properties within the Alexandria City limits.
2. Said bid packet shall consist of: Cover Page; Submittal Conditions (Attachment 1); General Conditions (Attachment 2); Bid Proposal Price Sheet (Attachment 3); and Work Description with photographs (Attachment 4).
3. Proposals must be submitted on the Bid Proposal Price Sheet (Attachment #3) provided. Proposals submitted in any other form will be considered non-responsive and will be rejected.
4. No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
5. All bid prices shall include any and all material, labor, equipment, tax and freight charges.
6. Bid Proposal Price Sheets without completed signature /company information will automatically be rejected.
7. Contractor shall honor all work performed, labor and materials installed for a period of one (1) year.
8. All new Contractors submitting a proposal for the first time will be required to complete one unit prior to signing additional contracts, in the event they are awarded multiple addresses.
9. The Contractor shall procure all permits and licenses under federal, state and local laws, pay all charges and fees. The City of Alexandria reserves the right to inspect any and all permits and licenses at any time prior to or during the construction process. The Contractor shall send copies of all permits and licenses to the City of Alexandria, within 5 days of beginning any construction project.
10. The Contractor shall be responsible for securing the Rehab Permit within 10 business days of contract signing. If applicable, multiple Rehab Permits may be issued to a Contractor at any given time. If the Contractor chooses, Rehab Permits may be issued at one time, as the units are completed, however, no more than thirty (30) days will be allowed between the issuance of each Rehab Permit.
11. Contractor agrees to satisfactorily complete the work within thirty (30) consecutive calendar days from the date of the Notice to Proceed / Rehab Permit issuance. No rain days or holidays will be allowed to extend the contract completion date without written permission from the Administrator.
12. Due to the nature of Rehab Repair work, some conditions of the repair may be unknown until the work is in progress. Contractor is responsible to account for these conditions in the bid proposal price submitted. Due to the Federal funding limitations of the program, change orders will be considered on a case by case basis, only where unforeseen conditions are disclosed during the course of the work which are necessary to complete the defined scope of work. If an error escapes our detection in the work description, that oversight shall not relieve the contractor of the responsibility of complete compliance with the requirements of the city's adopted codes and ordinance. The Contractor shall carefully



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study and compare work description with pictures and shall at once report to the City Inspector any error, inconsistency, or omission he may discover.

13. The Contractor shall not negotiate the scope of work with the property owner. Any potential changes to the scope of work must be approved in writing by the Community Development Administrator.
14. Whenever quantities or usages are provided by in the work descriptions, these quantities are estimates only. No guarantee or warranty is given or implied by the City of Alexandria as to the total amount that may or may not be required to complete the work. These estimated numbers may be used to calculate total bid prices.
15. All materials and products shall be new and un-used. Material products shall be of Builder Grade minimum and meet all requirements for code compliance with the current adopted version of the International Residential Building Code. Each respective bidder shall be responsible for insuring that his/her product meets or exceeds this specification.
16. The Owner will be required to allow the Contractor to use, at no cost, existing utilities such as light, heat, power, and water necessary to carry out and complete of the work.
17. The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for coordination of all portions of the work under the Contract. The Contractor is responsible for getting all of the warranties and releases to the Owner.
18. The Contractor shall comply with all Federal, State and local laws, ordinances and regulations affecting the construction / repair of the buildings and appurtenances, and shall defend, indemnify, and hold harmless, the City and its representatives against any claim or liability arising from violation of any such law, ordinance or regulation.
19. Upon satisfactory completion of the repair, the Contractor is subject to random inspections and must schedule a final inspection. The Contractor must be present for each inspection to ensure work is code complaint and to ensure the job site has been left in a safe condition daily.
20. If required in the scope of work description or if required by law, the Contractor shall provide the City of Alexandria with asbestos and/or lead based paint test survey, pursuant to the standards of the Environmental Protection Agency and/or the Louisiana Department of Environmental Quality.
21. If any materials are found to contain Lead Based Paint and are defined in the scope of work for removal, that work shall be performed by an EPA Certified Abatement Contractor, who will act as a subcontractor under the Prime Contractor.
22. If required in the scope of work description or if required by law, the Contractor is responsible for obtaining a Lead Paint Clearance Test. All paint chip, dust or soil samples shall be collected and analyzed in accordance with standards established by the State under a program authorized by EPA in accordance with 40 CFR 745.89 and by Guidelines for the Evaluation and Control of Lead Based Paint Hazards in Housing 24 CFR 35. All Clearance Testing must be performed by a State Licensed Lead Paint Risk Assessor. A copy of the State License and Clearance Report will be required prior to payment. The Contractor must be trained in accordance with the Toxic Substances Control Act Section 402 and received certification by EPA to conduct lead based paint renovation, repair and painting activities pursuant to 40 CFR 745.89.



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23. All "nonexempt" construction or demolition debris shall be properly disposed of in a DEQ approved permitted disposal site or transfer facility according to DEQ regulations. Weighing tickets must be submitted to the Community Development Department as documentation of proper disposal prior to receiving payment. This may be subject to an audit by the City of Alexandria.
24. The Contractor agrees to carry a commercial general liability policy that covers both bodily injury and property damages in an amount of no less than \$100,000 in liability coverage. In no event shall the commercial general policy limits be less than the value of the structure to receive work. Additionally, the Contractor shall provide the City with a current Certificate of Insurance setting forth all insurance requirements.
25. The Contractor agrees to carry Workers' Compensation Insurance pursuant to Louisiana Law. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have Workers' Compensation Insurance in full force and effect.
26. The Contractor shall furnish satisfactory evidence of commercial automotive liability insurance coverage not less than the minimum State Law requirements on all vehicles being used on this project in the contract award. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have commercial automotive liability insurance in effect.
27. Parties involved are to understand that all salvage rights belong to the Contractor.
28. The Contractor shall defend, indemnify, and hold harmless, the City and its representatives against all claims arising from injuries to persons or damages to property due to neglect by the contractor.
29. Pursuant to LA R.S 38:2212.1C.2, any manufacturer's preference provided is descriptive, but non-restrictive, and is used only to indicate minimum requirement for type, grade and quality unless otherwise specified.
30. Pursuant to LA R.S. 38:2212.A.1.b, the provisions and requirement of this bid shall not be considered as informalities and shall not be waived by the City of Alexandria. Therefore, conditions and specifications on this bid form shall be strictly enforced and any and all alterations, deviations, and non-compliance to said conditions and specifications, either on the bid form or by separate attachment, shall be grounds for immediate disqualification.
31. In case of a mathematical discrepancy between unit price and extensions, the unit price shall prevail.
32. All erasures or corrections on the bid form must be initialed and the City of Alexandria may rely on the apparent authority represented by the initials.
33. The City of Alexandria, on behalf of the Owner, reserves the right to reject for cause any and all bids or parts of bids, or accept bids most beneficial to the Owner. Conditional proposals, or those which take exception to the specifications, will be considered non-responsive and will be rejected.
34. Contractor shall furnish all labor, materials, and equipment necessary to accomplish all of the work required by the General Conditions and Work Description for the Rehab Program of the attached properties. Labor shall be performed by skilled and competent craftsmen. The Community Development Inspector, with the authority of the Owner, shall have the right to have personnel removed from the job who are not performing their services in a workmanlike manner. All



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materials shall be cut and fit tight and nailed in place on the job. Materials shall be free from all pencil and kerfed marks. Finish materials shall be selected by the Contractor to match the quality, color and décor of existing like materials in the house.

35. Contractor agrees to provide a drug free workplace which prohibits the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in the workplace. Contractor or any of their workers or subcontractors will be prohibited from smoking inside a person's residence.
36. Keep premises clean and orderly during the course of work and remove all debris upon completion of work. Any and all materials and equipment removed and replaced as part of the work shall belong to the Contractor. Where buildings to be remodeled are furnished and occupied by Owners or their tenants, the prime Contractors, and Sub-Contractor shall make all allowances in their proposals for whatever inconvenience is incurred, i.e., working around furniture, adjusting working hours to accommodate Owners or tenants daily routines, etc. The Contractor shall cover all carpets furniture, etc. in the work area with drop clothes. Passageways and hallways shall be kept clear of debris, lumber, or equipment. Bulk materials may not be stored inside the building. The Owner shall make a reasonable effort to move furniture and rugs to create clear working space for the Contractor.
37. When any bid is accepted for the construction, a written contract shall be executed by and between the Property Owner and the Contractor. No Rehab Contract between the Owner and the Contractor can be executed until a grant agreement has been executed by the Mayor of the City of Alexandria and the Property Owner. Should the bidder to whom the contract is awarded fail to execute the contract, the award shall then be made to the next lowest responsible responsive bidder, or re-advertised for public bid, said decision to be in the sole judgment of the Administrator, on behalf of the Owner. This action may result in debarment and the loss of bidding privileges for a period of two (2) years.
38. Contractor shall be paid 100% of the contract amount payable within thirty (30) calendar days after receipt of Final inspection with the signed Owner & Contractors Acceptance form; Warranty & Release form; Contractor Release of Lien Affidavit; AFEAT Compliance Form; and the Contractors final invoice with Owners approval.
39. On any bid proposals awarded, the Contractor shall be required to furnish a list of all suppliers and sub-contractors on each Property location project awarded. In addition, each sub-contractor listed shall have amount of said sub-contract stated. Documentation will be sent to the Contractor via email one week before the scheduled contract signing date so that it is completed by the time of signing.
40. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's AFEAT (Alexandria Fairness, Equality, Accessibility, and Teamwork) Program. Participation by minority and/or disadvantaged business enterprise firms is encouraged. The AFEAT Program should be inquired about through the City's Legal Division.
41. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's Non-Discrimination Statement. The Non-Discrimination Program should be inquired about through the City's Legal Division.



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42. Any bidder that is found listed on the Federal Government's SAM's (System for Award Management) website at www.sam.gov/portal/sam, under the advanced search feature for EPLS (Excluded Parties List System), shall automatically be rejected for the award of this bid, by Category and/or in its entirety.
43. The Contractor shall exercise proper precaution at all times from the protection of persons and property and shall be responsible for all damages to persons for property, either on or off the site, which occur as a result of his prosecution. Codes shall be observed and the contractor shall take or cause to be taken such additional safety and health measures as the Community Development Department may determine to be reasonably necessary. Machinery, equipment, and all hazards shall be awarded in accordance with safety provisions of the "Manual of Accident Prevention in Construction" published by the Associated General Contractors of America, Inc., to the extent that such provisions are not in conflict with applicable local laws.
44. Upon request by the City, the successful bidder may be required to furnish additional information on material(s) and/or product(s) bid for evaluation purposes.
45. One copy of the Parts Manual, Service Manual, Operator's Manual and/or Warranty for all products and materials installed shall be given to the Property Owner by the Contractor once the work is complete.
46. The Contractor and Owner will agree that should any dispute arise concerning the work performed under the Contract Agreement, payment, or warranty, the parties agree to submit the dispute to the Community Development Office for a resolution in accordance with Article XVII of the Program Guidelines and such determination will be final and without recourse.
47. Debarment: All work performed will be guaranteed by the Contractor for a period of one (1) year following Final Payment. Any Contractor who continually fails to correct valid homeowner complaints within this period or any Contractor found in Default of a Contract will be notified by certified mail that he has been debarred and no further proposals will be accepted from him for a period of two (2) years following debarment.
48. The Contractor by the execution of the Contract shall in no way be relieved of any obligation under it due to his failure to receive or examine any form of legal instrument or to visit the site and acquaint himself with the conditions there existing and Community Development will be justified in rejecting any claims based on "Conditions", latent or otherwise.
49. The Contractor shall be advised that no member or Delegate to the Congress of the United States, and no Resident Commissioner, shall be admitted to any share or part of any possible bid award or to any benefit to arise from the same.
50. The Contractor shall be advised that no member, officer, or employee of the Local Public Body, or its designees or agents, non-member of the governing body of the locality in which the (Program, Project, or Similar) is situated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the (Program, Project or Similar) during their tenure or for one year thereafter, shall have any interest, direct or indirect, in any Contract or Sub-Contract, or the proceeds thereof, for work to be performed in connection with the (Program, Project, etc).



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Mayor



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 Community Development Department
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 625 Murray Street, 3rd Floor
 Alexandria, LA 71301

CmDv Housing Minor Rehab Bid Packet - Contractor's Bid Proposal Price Sheet

The undersigned offers to complete the CDBG Housing Rehab of the following residences at the payment price stated for EACH housing unit listed on this sheet. The buildings herein offered for repair will be awarded to the lowest most responsive responsible bidder. The city reserves the right to reject any and all proposals.

#	MPN Project #	Address	Property Owner	Phone #	Itemized Price per structure	Owner's Initials for Acceptance of Bid Price
1	12990	18 GORDON STREET	ISREAL SMITH	318.419.5989		
2	12989	309 AVOYELLES DR	WILLIAM MARSHALL	504.214.4107		
3	12973	516 RICHMOND DR	EMMA ROSS GREEN	318.448.0314		
4	12955	3525 BALDWIN AVE	DELORIS EARLY	318.473.8563		
5	12972	3739 VERMONT ST	BEVERLY ROBINSON	318.613.7186		
6	12956	5812 HABEEB DR.	MARTHA LEWIS	318.441.2270		
7	12952	2732 MILL ST	GEORGIA WILLIAMS	318.448.8739		
8	12957	2728 MILL ST	VIRGINIA WILLIAMS	318445.5869		
ELECTRICAL - ITEMIZE PRICE FOR EACH PROPERTIES LISTED ABOVE						

- Proposals must be submitted on this Bid Proposal Price Sheet (Attachment #3). Submitted in any other form will be considered non-responsive and will be rejected.
- No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
- All bid prices shall include any and all material, labor, equipment, tax and freight charges.
- Bid Proposal Price Sheets without completed signature /company information will automatically be rejected. All information must be completed in ink. Signature must be hand-written. Electronic or stamped signatures will be rejected. All information requested below must be in print, with the exception of the Authorized Signature.
- The Contractor is responsible for contacting each Homeowner to schedule an appointment to estimate their bid proposal. The Contractor is also responsible to review the scope of work and pictures, the submittal conditions and general conditions disclosures. By signing this form, the Contractor accepts responsibility for the extent and character of work to be performed.

COMPANY NAME _____ DATE _____

STREET ADDRESS _____ P O BOX _____

CITY _____ STATE _____ ZIP _____

TELEPHONE NUMBER _____ DUNS NUMBER _____

AUTHORIZED SIGNATURE: _____



Jacques M. Roy
 Mayor

Case Number: CD-12990

Address: 18 GORDON

Question	Comment	Amount
Rebuild electric service to 100 amps (if there is gas heat, gas water heater and gas range). New service shall include new copper ground rod.		
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.	relocate to outside?	
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.		
Eliminate all pull-chain type lights in bathroom and kitchen. Replace with wall switch and new fixture in each location. Maximum of 3 replacements per house for this item.	1 bathroom	
Install new fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit. Maximum of 2 installations per house for this item.	1	
Install new separate (110-220V) circuits to window air conditioner (over 5000 btu's). Maximum of 2 new circuits per house for this item.	1 back bedroom	
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded. Add new circuits as necessary.		
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.		
Install new porch light fixture. All fixtures to be controlled by inside switches. Maximum of 2 new fixtures per house for this item. Priority shall be given to front porch, then back porch, then side porch.	1	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	1 bath 2 kitchen	
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

TOTAL \$

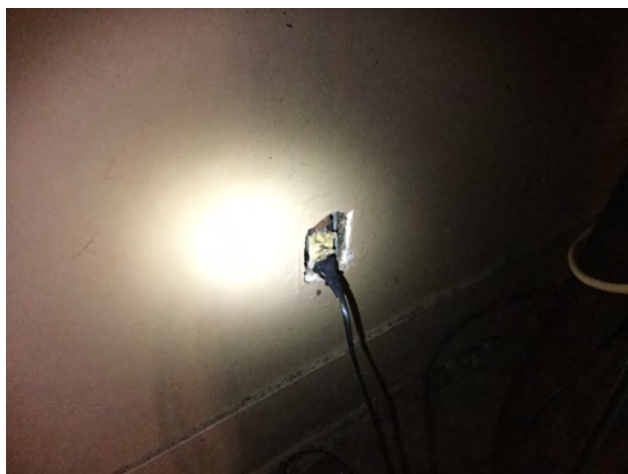
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Address: **18 GORDON**
Inspection Date: **7/31/2017**



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Case Number: CD-12989

Address: 309 Avoyelles

Question	Comment	Amount
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.	update recepts	
Eliminate all pull-chain type lights in bathroom and kitchen. Replace with wall switch and new fixture in each location. Maximum of 3 replacements per house for this item.	W/H closet	
Install new fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit. Maximum of 2 installations per house for this item.	2nd bathroom	
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.	vanity light 2nd bathroom	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	kitchen-2, bathrooms- 1 each	
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

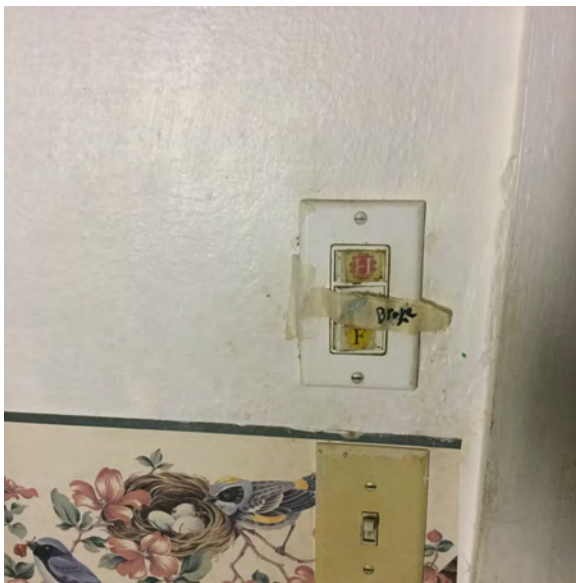
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Address: **309 Avoyelles**
Inspection Date: **7/28/2017**



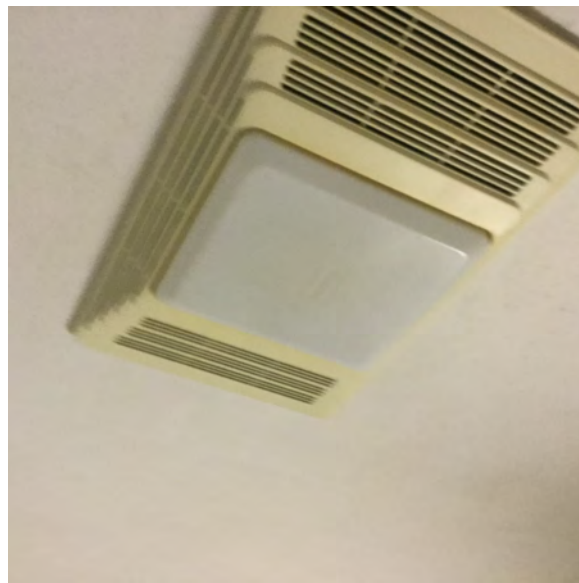
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7/28/2017 12:17:59 PM



7/28/2017 12:17:58 PM

Case Number: CD-12973
Address: 516 RICHMOND

Question	Comment	Amount
Eliminate all pull-chain type lights in bathroom and kitchen. Replace with wall switch and new fixture in each location. Maximum of 3 replacements per house for this item.		
Install new fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit. Maximum of 2 installations per house for this item.	bath 1, 1/2 bath	
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.	vanity	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	kitchen, 3/4 bath, bath 1	
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

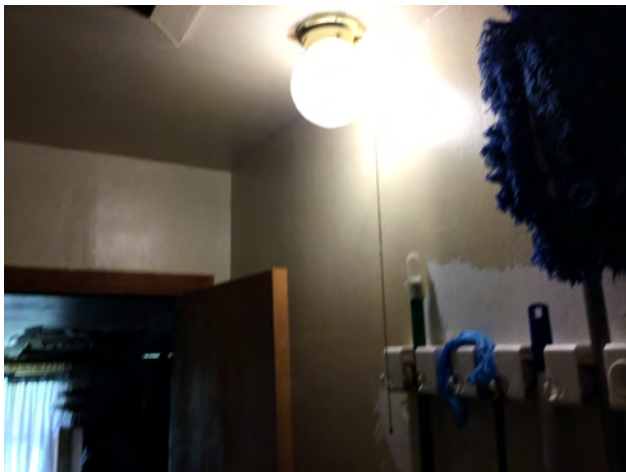
Project Number: **CD-12973**
Address: **516 RICHMOND**
Inspection Date: **7/20/2017**



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7/20/2017 7:23:01 AM



7/20/2017 7:23:50 AM



7/20/2017 7:23:05 AM

Case Number: CD-12955
Address: 3525 BALDWIN AVENUE

Question	Comment	Amount
Rebuild electric service to 200 amps (if there is gas heat, gas water heater and gas range). New service shall include new copper ground rod.	125 Amp, drip loop less than 10'	
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.		
Install new separate (110-220V) circuits to window air conditioner (over 5000 btu's). Maximum of 2 new circuits per house for this item.	living	
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded. Add new circuits as necessary.		
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.		
Install new porch light fixture. All fixtures to be controlled by inside switches. Maximum of 2 new fixtures per house for this item. Priority shall be given to front porch, then back porch, then side porch.	front,back	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	kitchen,bathroom	
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

TOTAL \$

Project Number: **CD-12955**
Address: **3525 BALDWIN AVENUE**
Inspection Date: **6/29/2017**



6/29/2017 7:35:44 AM



6/29/2017 7:35:42 AM



6/29/2017 7:36:52 AM



6/29/2017 7:35:50 AM

Case Number: CD-12972
Address: 3739 VERMONT

Question	Comment	Amount
Rebuild electric service to 100 amps (if there is gas heat, gas water heater and gas range). New service shall include new copper ground rod.		
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.	relocate outside	
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.		
Eliminate all pull-chain type lights in bathroom and kitchen. Replace with wall switch and new fixture in each location. Maximum of 3 replacements per house for this item.	pantry, porch and bathroom	
Install new fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit. Maximum of 2 installations per house for this item.	1 bath	
Install new separate (110-220V) circuits to window air conditioner (over 5000 btu's). Maximum of 2 new circuits per house for this item.		
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded. Add new circuits as necessary.		
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.	1 porch 1 pantry	
Install new porch light fixture. All fixtures to be controlled by inside switches. Maximum of 2 new fixtures per house for this item. Priority shall be given to front porch, then back porch, then side porch.	1 front porch	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.		
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

TOTAL \$

Project Number: **CD-12972**
Address: **3739 VERMONT**
Inspection Date: **7/18/2017**



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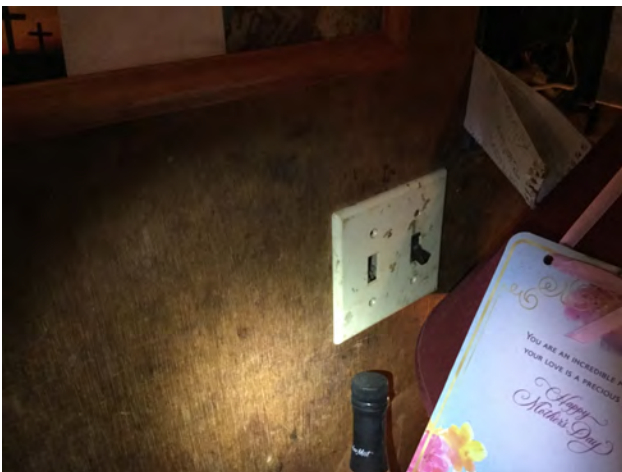
Project Number: **CD-12972**
Address: **3739 VERMONT**
Inspection Date: **7/18/2017**



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7/18/2017 10:17:56 AM

Case Number: CD-12956

Address: 5812 Habeeb

Question	Comment	Amount
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.	laundry relocate outside	
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.	condensing unit outside	
Install new fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit. Maximum of 2 installations per house for this item.	upstairs both baths	
Install new separate (110-220V) circuits to window air conditioner (over 5000 btu's). Maximum of 2 new circuits per house for this item.	kitchen/dining	
Install new porch light fixture. All fixtures to be controlled by inside switches. Maximum of 2 new fixtures per house for this item. Priority shall be given to front porch, then back porch, then side porch.	carport	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	kitchen	
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.	upstairs	
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Provide portable combination heating & cooling unit. Unit shall be minimum 500 sq ft capacity, 12,000 BTU, 110 volt, Honeywell brand or equal, average price \$600.00 for unit only. Electrical wiring may be required to provide a suitable receptacle for operation in one designated room, determined by the Inspector. ****This scope of work to be applied at the discretion of the Community Development Administrator in extreme hardship (senior age of 55 or older and critical medical health) and existing methods of heat causing fire hazards within dwelling unit, therefore, having no method of providing heat as required in the International Property Maintenance Code.	no heat or A/C since Feb. upstairs	

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

TOTAL \$

Project Number: **CD-12956**
Address: **5812 Habibeb**
Inspection Date: **6/29/2017**



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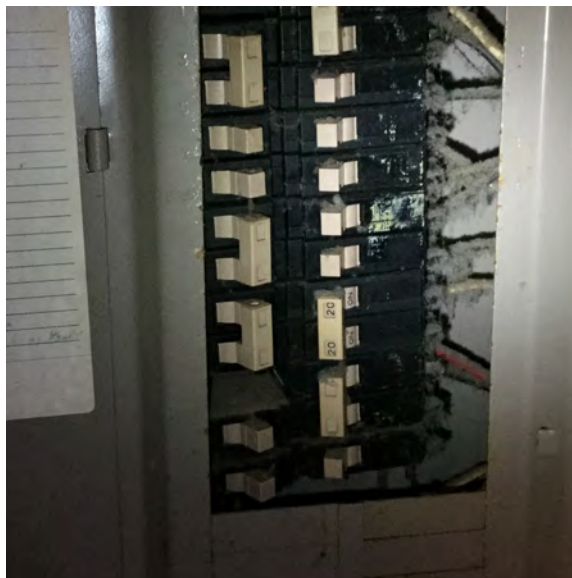


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Project Number: **CD-12956**
Address: **5812 Habib**
Inspection Date: **6/29/2017**



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Case Number: CD-12952
Address: 2732 Mill Street

Question	Comment	Amount
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.		
Install new separate (110-220V) circuits to window air conditioner (over 5000 btu's). Maximum of 2 new circuits per house for this item.	2	
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.		
Install new porch light fixture. All fixtures to be controlled by inside switches. Maximum of 2 new fixtures per house for this item. Priority shall be given to front porch, then back porch, then side porch.		
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.		
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL \$	

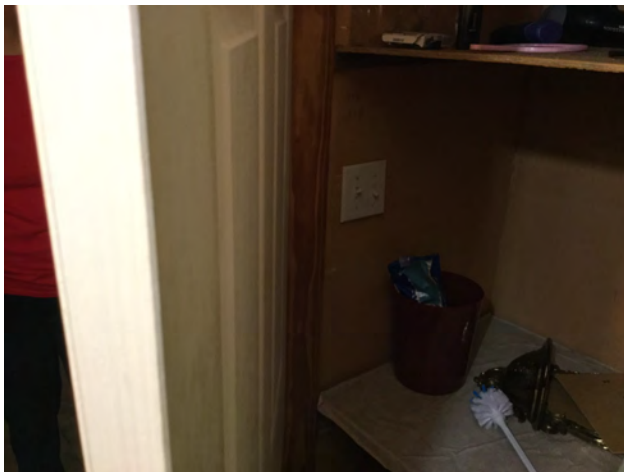
Project Number: **CD-12952**
Address: **2732 Mill Street**
Inspection Date: **6/27/2017**



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Project Number: **CD-12952**
Address: **2732 Mill Street**
Inspection Date: **6/27/2017**



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Case Number: CD-12957
Address: 2728 Mill Street
Inspection Date: 6/29/2017

Question	Comment	Amount
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.	There's two separate 6 circuit panels, update and add two A/C circuits	
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.	most receps dont work	
Eliminate all pull-chain type lights in bathroom and kitchen. Replace with wall switch and new fixture in each location. Maximum of 3 replacements per house for this item.	Laundry room	
Install new separate (110-220V) circuits to window air conditioner (over 5000 btu's). Maximum of 2 new circuits per house for this item.	Dining room, 2nd bedroom	
Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.	Kitchen, laundry, closet, bed #1	
Install new porch light fixture. All fixtures to be controlled by inside switches. Maximum of 2 new fixtures per house for this item. Priority shall be given to front porch, then back porch, then side porch.	front	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	kitchen	
Install one (1) hard-wired combination smoke and carbon monoxide detector in the main hallway of the house.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor		

must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

	TOTAL \$
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Project Number: **CD-12957**
Address: **2728 Mill Street**
Inspection Date: **6/29/2017**



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City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

CmDv CDBG HOUSING MINOR REHAB BID PACKET

**BIDS DUE BY:
SEPTEMBER 8, 2017
9:00 A.M.**

CmDv #1710 – CDBG PLUMBING

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Contractor's Bid Proposal Price Sheet - Itemize price for each structure - Complete, sign, return in sealed Bid Proposal packet
Attachment #4	Scopes of Work and Photos - Plumbing work descriptions for 3 addresses



Jacques M. Roy
Mayor



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

CmDv CDBG Housing Rehab Bid Packet - Submittal Conditions

BID SUBMITTAL DEADLINE / BID OPENING: 9am Friday, September 8, 2017

ATTENTION: *Qualified Contractors*

Please find attached the discipline specific BID SCOPES OF WORK (Attachment #4) described in each package. All sealed bid proposals must be delivered to the address in the letterhead above by the deadline specified.

The SEALED bid package must bear your Community Development issued Qualified Contractor ID# on the OUTSIDE FRONT of the envelope. Packages without this information will immediately be rejected and unopened. No email, faxed or call-in bids will be accepted.

Inside the bid proposal package submitted, shall include the signed Bid Proposal Price sheet(s) (Attachment #3). All bids shall be signed by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. This sheet must include a total price for each houses listed. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, DUNS Number and Contractor Authorized Signature. Any proposal without this information will immediately be rejected. You are not required to submit the individual work description or picture pages of each bid packet grouping. If you have questions about the submittal of documentation, contact the Rehab Program Manager at (318) 449-5074.

Bidders are responsible to read all Attachments 1-4. The terms applicable to the bid award and contract are defined and may affect bid proposal pricing.

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the bid packet. The City Inspector does not have to accompany you to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner has no authority to alter the scope. The scope of work includes pictures taken by the City Inspector to assist in the description of work. If you have questions concerning the scope of work description, contact the City Inspector at (318) 449-5069.

All bidders will be provided with a Bid Tabulation result sheet within 10 calendar days after the bid opening. Awarded contracts will be fully executed within thirty (30) calendar days of the bid tabulation. The date and time will be scheduled by the Rehab Program Manager and you will be notified.

We appreciate your interest in working with Community Development on this Federally funded program to improve the housing standards in our community!



Jacques M. Roy
Mayor



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

Rehab Bid Packet – General Conditions

1. It is the intent of the City of Alexandria's Community Development Department on behalf of the qualified homeowner to secure bid proposals for scopes of work for Rehab repairs at various privately owned residential properties within the Alexandria City limits.
2. Said bid packet shall consist of: Cover Page; Submittal Conditions (Attachment 1); General Conditions (Attachment 2); Bid Proposal Price Sheet (Attachment 3); and Work Description with photographs (Attachment 4).
3. Proposals must be submitted on the Bid Proposal Price Sheet (Attachment #3) provided. Proposals submitted in any other form will be considered non-responsive and will be rejected.
4. No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
5. All bid prices shall include any and all material, labor, equipment, tax and freight charges.
6. Bid Proposal Price Sheets without completed signature /company information will automatically be rejected.
7. Contractor shall honor all work performed, labor and materials installed for a period of one (1) year.
8. All new Contractors submitting a proposal for the first time will be required to complete one unit prior to signing additional contracts, in the event they are awarded multiple addresses.
9. The Contractor shall procure all permits and licenses under federal, state and local laws, pay all charges and fees. The City of Alexandria reserves the right to inspect any and all permits and licenses at any time prior to or during the construction process. The Contractor shall send copies of all permits and licenses to the City of Alexandria, within 5 days of beginning any construction project.
10. The Contractor shall be responsible for securing the Rehab Permit within 10 business days of contract signing. If applicable, multiple Rehab Permits may be issued to a Contractor at any given time. If the Contractor chooses, Rehab Permits may be issued at one time, as the units are completed, however, no more than thirty (30) days will be allowed between the issuance of each Rehab Permit.
11. Contractor agrees to satisfactorily complete the work within thirty (30) consecutive calendar days from the date of the Notice to Proceed / Rehab Permit issuance. No rain days or holidays will be allowed to extend the contract completion date without written permission from the Administrator.
12. Due to the nature of Rehab Repair work, some conditions of the repair may be unknown until the work is in progress. Contractor is responsible to account for these conditions in the bid proposal price submitted. Due to the Federal funding limitations of the program, change orders will be considered on a case by case basis, only where unforeseen conditions are disclosed during the course of the work which are necessary to complete the defined scope of work. If an error escapes our detection in the work description, that oversight shall not relieve the contractor of the responsibility of complete compliance with the requirements of the city's adopted codes and ordinance. The Contractor shall carefully



Jacques M. Roy
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City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

study and compare work description with pictures and shall at once report to the City Inspector any error, inconsistency, or omission he may discover.

13. The Contractor shall not negotiate the scope of work with the property owner. Any potential changes to the scope of work must be approved in writing by the Community Development Administrator.
14. Whenever quantities or usages are provided by in the work descriptions, these quantities are estimates only. No guarantee or warranty is given or implied by the City of Alexandria as to the total amount that may or may not be required to complete the work. These estimated numbers may be used to calculate total bid prices.
15. All materials and products shall be new and un-used. Material products shall be of Builder Grade minimum and meet all requirements for code compliance with the current adopted version of the International Residential Building Code. Each respective bidder shall be responsible for insuring that his/her product meets or exceeds this specification.
16. The Owner will be required to allow the Contractor to use, at no cost, existing utilities such as light, heat, power, and water necessary to carry out and complete of the work.
17. The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for coordination of all portions of the work under the Contract. The Contractor is responsible for getting all of the warranties and releases to the Owner.
18. The Contractor shall comply with all Federal, State and local laws, ordinances and regulations affecting the construction / repair of the buildings and appurtenances, and shall defend, indemnify, and hold harmless, the City and its representatives against any claim or liability arising from violation of any such law, ordinance or regulation.
19. Upon satisfactory completion of the repair, the Contractor is subject to random inspections and must schedule a final inspection. The Contractor must be present for each inspection to ensure work is code complaint and to ensure the job site has been left in a safe condition daily.
20. If required in the scope of work description or if required by law, the Contractor shall provide the City of Alexandria with asbestos and/or lead based paint test survey, pursuant to the standards of the Environmental Protection Agency and/or the Louisiana Department of Environmental Quality.
21. If any materials are found to contain Lead Based Paint and are defined in the scope of work for removal, that work shall be performed by an EPA Certified Abatement Contractor, who will act as a subcontractor under the Prime Contractor.
22. If required in the scope of work description or if required by law, the Contractor is responsible for obtaining a Lead Paint Clearance Test. All paint chip, dust or soil samples shall be collected and analyzed in accordance with standards established by the State under a program authorized by EPA in accordance with 40 CFR 745.89 and by Guidelines for the Evaluation and Control of Lead Based Paint Hazards in Housing 24 CFR 35. All Clearance Testing must be performed by a State Licensed Lead Paint Risk Assessor. A copy of the State License and Clearance Report will be required prior to payment. The Contractor must be trained in accordance with the Toxic Substances Control Act Section 402 and received certification by EPA to conduct lead based paint renovation, repair and painting activities pursuant to 40 CFR 745.89.



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City of Alexandria
Community Development Department
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625 Murray Street, 3rd Floor
Alexandria, LA 71301

23. All "nonexempt" construction or demolition debris shall be properly disposed of in a DEQ approved permitted disposal site or transfer facility according to DEQ regulations. Weighing tickets must be submitted to the Community Development Department as documentation of proper disposal prior to receiving payment. This may be subject to an audit by the City of Alexandria.
24. The Contractor agrees to carry a commercial general liability policy that covers both bodily injury and property damages in an amount of no less than \$100,000 in liability coverage. In no event shall the commercial general policy limits be less than the value of the structure to receive work. Additionally, the Contractor shall provide the City with a current Certificate of Insurance setting forth all insurance requirements.
25. The Contractor agrees to carry Workers' Compensation Insurance pursuant to Louisiana Law. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have Workers' Compensation Insurance in full force and effect.
26. The Contractor shall furnish satisfactory evidence of commercial automotive liability insurance coverage not less than the minimum State Law requirements on all vehicles being used on this project in the contract award. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have commercial automotive liability insurance in effect.
27. Parties involved are to understand that all salvage rights belong to the Contractor.
28. The Contractor shall defend, indemnify, and hold harmless, the City and its representatives against all claims arising from injuries to persons or damages to property due to neglect by the contractor.
29. Pursuant to LA R.S 38:2212.1C.2, any manufacturer's preference provided is descriptive, but non-restrictive, and is used only to indicate minimum requirement for type, grade and quality unless otherwise specified.
30. Pursuant to LA R.S. 38:2212.A.1.b, the provisions and requirement of this bid shall not be considered as informalities and shall not be waived by the City of Alexandria. Therefore, conditions and specifications on this bid form shall be strictly enforced and any and all alterations, deviations, and non-compliance to said conditions and specifications, either on the bid form or by separate attachment, shall be grounds for immediate disqualification.
31. In case of a mathematical discrepancy between unit price and extensions, the unit price shall prevail.
32. All erasures or corrections on the bid form must be initialed and the City of Alexandria may rely on the apparent authority represented by the initials.
33. The City of Alexandria, on behalf of the Owner, reserves the right to reject for cause any and all bids or parts of bids, or accept bids most beneficial to the Owner. Conditional proposals, or those which take exception to the specifications, will be considered non-responsive and will be rejected.
34. Contractor shall furnish all labor, materials, and equipment necessary to accomplish all of the work required by the General Conditions and Work Description for the Rehab Program of the attached properties. Labor shall be performed by skilled and competent craftsmen. The Community Development Inspector, with the authority of the Owner, shall have the right to have personnel removed from the job who are not performing their services in a workmanlike manner. All



Jacques M. Roy
Mayor



City of Alexandria
Community Development Department
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Alexandria, LA 71301

materials shall be cut and fit tight and nailed in place on the job. Materials shall be free from all pencil and kerfed marks. Finish materials shall be selected by the Contractor to match the quality, color and décor of existing like materials in the house.

35. Contractor agrees to provide a drug free workplace which prohibits the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in the workplace. Contractor or any of their workers or subcontractors will be prohibited from smoking inside a person's residence.
36. Keep premises clean and orderly during the course of work and remove all debris upon completion of work. Any and all materials and equipment removed and replaced as part of the work shall belong to the Contractor. Where buildings to be remodeled are furnished and occupied by Owners or their tenants, the prime Contractors, and Sub-Contractor shall make all allowances in their proposals for whatever inconvenience is incurred, i.e., working around furniture, adjusting working hours to accommodate Owners or tenants daily routines, etc. The Contractor shall cover all carpets furniture, etc. in the work area with drop clothes. Passageways and hallways shall be kept clear of debris, lumber, or equipment. Bulk materials may not be stored inside the building. The Owner shall make a reasonable effort to move furniture and rugs to create clear working space for the Contractor.
37. When any bid is accepted for the construction, a written contract shall be executed by and between the Property Owner and the Contractor. No Rehab Contract between the Owner and the Contractor can be executed until a grant agreement has been executed by the Mayor of the City of Alexandria and the Property Owner. Should the bidder to whom the contract is awarded fail to execute the contract, the award shall then be made to the next lowest responsible responsive bidder, or re-advertised for public bid, said decision to be in the sole judgment of the Administrator, on behalf of the Owner. This action may result in debarment and the loss of bidding privileges for a period of two (2) years.
38. Contractor shall be paid 100% of the contract amount payable within thirty (30) calendar days after receipt of Final inspection with the signed Owner & Contractors Acceptance form; Warranty & Release form; Contractor Release of Lien Affidavit; AFEAT Compliance Form; and the Contractors final invoice with Owners approval.
39. On any bid proposals awarded, the Contractor shall be required to furnish a list of all suppliers and sub-contractors on each Property location project awarded. In addition, each sub-contractor listed shall have amount of said sub-contract stated. Documentation will be sent to the Contractor via email one week before the scheduled contract signing date so that it is completed by the time of signing.
40. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's AFEAT (Alexandria Fairness, Equality, Accessibility, and Teamwork) Program. Participation by minority and/or disadvantaged business enterprise firms is encouraged. The AFEAT Program should be inquired about through the City's Legal Division.
41. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's Non-Discrimination Statement. The Non-Discrimination Program should be inquired about through the City's Legal Division.



Jacques M. Roy
Mayor



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

42. Any bidder that is found listed on the Federal Government's SAM's (System for Award Management) website at www.sam.gov/portal/sam, under the advanced search feature for EPLS (Excluded Parties List System), shall automatically be rejected for the award of this bid, by Category and/or in its entirety.
43. The Contractor shall exercise proper precaution at all times from the protection of persons and property and shall be responsible for all damages to persons for property, either on or off the site, which occur as a result of his prosecution. Codes shall be observed and the contractor shall take or cause to be taken such additional safety and health measures as the Community Development Department may determine to be reasonably necessary. Machinery, equipment, and all hazards shall be awarded in accordance with safety provisions of the "Manual of Accident Prevention in Construction" published by the Associated General Contractors of America, Inc., to the extent that such provisions are not in conflict with applicable local laws.
44. Upon request by the City, the successful bidder may be required to furnish additional information on material(s) and/or product(s) bid for evaluation purposes.
45. One copy of the Parts Manual, Service Manual, Operator's Manual and/or Warranty for all products and materials installed shall be given to the Property Owner by the Contractor once the work is complete.
46. The Contractor and Owner will agree that should any dispute arise concerning the work performed under the Contract Agreement, payment, or warranty, the parties agree to submit the dispute to the Community Development Office for a resolution in accordance with Article XVII of the Program Guidelines and such determination will be final and without recourse.
47. Debarment: All work performed will be guaranteed by the Contractor for a period of one (1) year following Final Payment. Any Contractor who continually fails to correct valid homeowner complaints within this period or any Contractor found in Default of a Contract will be notified by certified mail that he has been debarred and no further proposals will be accepted from him for a period of two (2) years following debarment.
48. The Contractor by the execution of the Contract shall in no way be relieved of any obligation under it due to his failure to receive or examine any form of legal instrument or to visit the site and acquaint himself with the conditions there existing and Community Development will be justified in rejecting any claims based on "Conditions", latent or otherwise.
49. The Contractor shall be advised that no member or Delegate to the Congress of the United States, and no Resident Commissioner, shall be admitted to any share or part of any possible bid award or to any benefit to arise from the same.
50. The Contractor shall be advised that no member, officer, or employee of the Local Public Body, or its designees or agents, non-member of the governing body of the locality in which the (Program, Project, or Similar) is situated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the (Program, Project or Similar) during their tenure or for one year thereafter, shall have any interest, direct or indirect, in any Contract or Sub-Contract, or the proceeds thereof, for work to be performed in connection with the (Program, Project, etc).



Jacques M. Roy
Mayor



City of Alexandria
 Community Development Department
 Attn: Rehab Program Manager
 625 Murray Street, 3rd Floor
 Alexandria, LA 71301

CmDv Housing Minor Rehab Bid Packet - Contractor's Bid Proposal Price Sheet

The undersigned offers to complete the CDBG Housing Rehab of the following residences at the payment price stated for EACH housing unit listed on this sheet. The buildings herein offered for repair will be awarded to the lowest most responsive responsible bidder. The city reserves the right to reject any and all proposals.

#	MPN Project #	Address	Property Owner	Phone #	Itemized Price per structure	Owner's Initials for Acceptance of Bid Price
1	12904	810 LAFITTE DR	WANDA BELL	318.487.1917		
2	12939	2719 MAIN ST	IRENE SILAS	318.443.4045		
3	12981	717 BENNETT	AARON NEAL	318.623.8246		
PLUMBING - ITEMIZE PRICE FOR EACH PROPERTIES LISTED ABOVE						

- Proposals must be submitted on this Bid Proposal Price Sheet (Attachment #3). Submitted in any other form will be considered non-responsive and will be rejected.
- No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
- All bid prices shall include any and all material, labor, equipment, tax and freight charges.
- Bid Proposal Price Sheets without completed signature /company information will automatically be rejected. All information must be completed in ink. Signature must be hand-written. Electronic or stamped signatures will be rejected. All information requested below must be in print, with the exception of the Authorized Signature.
- The Contractor is responsible for contacting each Homeowner to schedule an appointment to estimate their bid proposal. The Contractor is also responsible to review the scope of work and pictures, the submittal conditions and general conditions disclosures. By signing this form, the Contractor accepts responsibility for the extent and character of work to be performed.

COMPANY NAME _____ DATE _____

STREET ADDRESS _____ P O BOX _____

CITY _____ STATE _____ ZIP _____

TELEPHONE NUMBER _____ DUNS NUMBER _____

AUTHORIZED SIGNATURE: _____



Jacques M. Roy
 Mayor

Case Number: CD-12904

Address: 810 Lafitte

Question	Comment	Amount
Bring all water plumbing up to code in residence.		
Bring all sewer plumbing up to code in residence.	possible collapsed where it exits house (could be caused by fence post install)	
Remove existing toilet and replace with new grade "A" handicap toilet and seat in bathroom. New toilet to have new bowl wax and sealing compound. New toilet shall have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet.	toilet ,supply line, valve	
Install new toilet bowl wax gasket with rubber insert and bowl sealing compound in bathroom.		
Install washing machine "catch-a-drip" drain in wall with hot and cold water supply.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL \$	

Project Number: **CD-12904**
Address: **810 Lafitte**
Inspection Date: **6/8/2017**



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Case Number: CD-12939
Address: 2719 MAIN STREET

Question	Comment	Amount
Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	kitchen sink	
Replace all leaking or deficient faucets and drains, replace with new.	kitchen, bathroom vanity	
Replace all leaking or deficient supply lines, replace with new. Supply lines to be equipped with cut off valves and chrome plated escutcheon plates.	kitchen, bathroom vanity	
Replace all leaking or deficient traps, wastes, and valves, replace with new.		
Remove existing toilet and replace with new grade "A" handicap toilet and seat in bathroom. New toilet to have new bowl wax and sealing compound. New toilet shall have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet.		
Remove existing lavatory and faucet in bathroom, replace with new. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Supply lines shall have cut off valves and chrome plated escutcheon plates. Supply lines to be chrome plated brass.		
Remove existing tub faucet and replace with new tub faucet. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats.		
Install washing machine "catch-a-drip" drain in wall with hot and cold water supply.		
Remove existing tub, faucet and drain assembly, replace with new one piece standard white prefabricated fiberglass handicap accessible shower stall 3ft x 5 ft, with prefabricated bench seat and complete with brass waste and shower faucet. Shower stall faucet to be of metal bodied with brass valves, using neoprene washers. Seats to be removable. Shower arm shall be equipped with 2 1/2in gallon per minute flow restrictor, and shower heat. Faucet finish to be brass or chrome.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National		

Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

	TOTAL \$
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Project Number: **CD-12939**
Address: **2719 MAIN STREET**
Inspection Date: **6/29/2017**



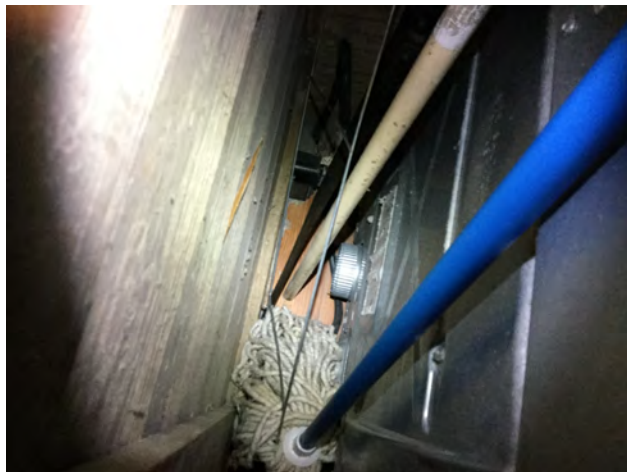
6/29/2017 8:07:14 AM



6/29/2017 8:03:42 AM



6/29/2017 8:07:17 AM



6/29/2017 8:07:16 AM

Project Number: **CD-12939**
Address: **2719 MAIN STREET**
Inspection Date: **6/29/2017**



6/29/2017 8:07:19 AM



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6/29/2017 8:07:20 AM

Case Number: CD-12981

Address: 717 BENNETT

Question	Comment	Amount
Replace all leaking or deficient faucets and drains, replace with new.	Vanity,shower,kitchen	
Replace all leaking or deficient supply lines, replace with new. Supply lines to be equipped with cut off valves and chrome plated escutcheon plates.	kitchen	
Replace all leaking or deficient traps, wastes, and valves, replace with new.	kitchen	
Remove existing toilet and replace with new grade "A" handicap toilet and seat in bathroom. New toilet to have new bowl wax and sealing compound. New toilet shall have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet.		
Remove existing lavatory and faucet in bathroom, replace with new. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Supply lines shall have cut off valves and chrome plated escutcheon plates. Supply lines to be chrome plated brass.		
Remove existing tub faucet and replace with new tub faucet. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats.		
Install new 40 gallon electric water heater. Water heater to have gas cock and water inlet cut off valves. Rheem "Energy Miser" or agency approved equal. *Install cold water faucet on exterior wall of water heater closet.	gas	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

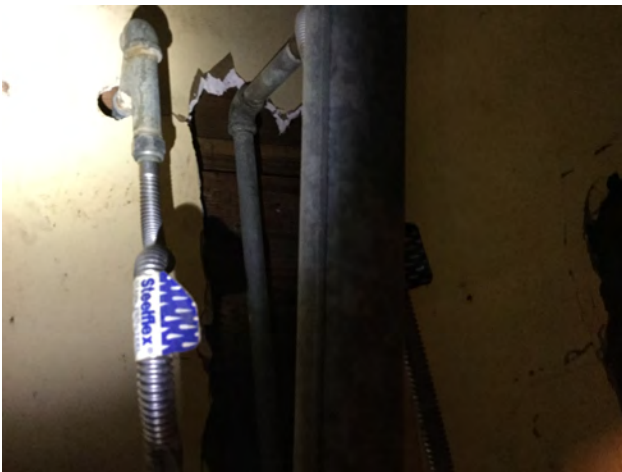
Project Number: **CD-12981**
Address: **717 BENNETT**
Inspection Date: **7/20/2017**



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Project Number: **CD-12981**
Address: **717 BENNETT**
Inspection Date: **7/20/2017**



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City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

CmDv CDBG HOUSING MINOR REHAB BID PACKET

**BIDS DUE BY:
SEPTEMBER 8, 2017
9:00 A.M.**

CmDv #1711 – CDBG CARPENTRY

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Contractor's Bid Proposal Price Sheet - Itemize price for each structure - Complete, sign, return in sealed Bid Proposal packet
Attachment #4	Scopes of Work and Photos - Carpentry work descriptions for 7 addresses



Jacques M. Roy
Mayor



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

CmDv CDBG Housing Rehab Bid Packet - Submittal Conditions

BID SUBMITTAL DEADLINE / BID OPENING: 9am Friday, September 8, 2017

ATTENTION: *Qualified Contractors*

Please find attached the discipline specific BID SCOPES OF WORK (Attachment #4) described in each package. All sealed bid proposals must be delivered to the address in the letterhead above by the deadline specified.

The SEALED bid package must bear your Community Development issued Qualified Contractor ID# on the OUTSIDE FRONT of the envelope. Packages without this information will immediately be rejected and unopened. No email, faxed or call-in bids will be accepted.

Inside the bid proposal package submitted, shall include the signed Bid Proposal Price sheet(s) (Attachment #3). All bids shall be signed by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. This sheet must include a total price for each houses listed. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, DUNS Number and Contractor Authorized Signature. Any proposal without this information will immediately be rejected. You are not required to submit the individual work description or picture pages of each bid packet grouping. If you have questions about the submittal of documentation, contact the Rehab Program Manager at (318) 449-5074.

Bidders are responsible to read all Attachments 1-4. The terms applicable to the bid award and contract are defined and may affect bid proposal pricing.

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the bid packet. The City Inspector does not have to accompany you to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner has no authority to alter the scope. The scope of work includes pictures taken by the City Inspector to assist in the description of work. If you have questions concerning the scope of work description, contact the City Inspector at (318) 449-5069.

All bidders will be provided with a Bid Tabulation result sheet within 10 calendar days after the bid opening. Awarded contracts will be fully executed within thirty (30) calendar days of the bid tabulation. The date and time will be scheduled by the Rehab Program Manager and you will be notified.

We appreciate your interest in working with Community Development on this Federally funded program to improve the housing standards in our community!



Jacques M. Roy
Mayor



City of Alexandria
 Community Development Department
 Attn: Rehab Program Manager
 625 Murray Street, 3rd Floor
 Alexandria, LA 71301

CmDv Housing Minor Rehab Bid Packet - Contractor's Bid Proposal Price Sheet

The undersigned offers to complete the CDBG Housing Rehab of the following residences at the payment price stated for EACH housing unit listed on this sheet. The buildings herein offered for repair will be awarded to the lowest most responsive responsible bidder. The city reserves the right to reject any and all proposals.

#	MPN Project #	Address	Property Owner	Phone #	Itemized Price per structure	Owner's Initials for Acceptance of Bid Price
1	12909	618 APPLEWHITE	ALTONETTE HAWKINS	318.443.1611		
2	12937	4411 3 RD	DEBORAH DAVIS	318.787.5950		
3	12936	4915 EAST SANDY BAYOU	LILLIE HELAIRE	318.445.1937		
4	12941	3228 BELWOOD	SHIRLEY DEAL	318.487.4937		
5	12947	2903 ELLBEE DR	LISA NEAL	318.609.0101		
6	12951	3005 DOE RUN	KATHIE GRANVEL	318.787.1663		
7	12984	2404 MADELINE ST	THERESA HAMPTON	318.419.5989		
CARPENTRY - ITEMIZE PRICE FOR EACH PROPERTIES LISTED ABOVE						

- Proposals must be submitted on this Bid Proposal Price Sheet (Attachment #3). Submitted in any other form will be considered non-responsive and will be rejected.
- No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
- All bid prices shall include any and all material, labor, equipment, tax and freight charges.
- Bid Proposal Price Sheets without completed signature /company information will automatically be rejected. All information must be completed in ink. Signature must be hand-written. Electronic or stamped signatures will be rejected. All information requested below must be in print, with the exception of the Authorized Signature.
- The Contractor is responsible for contacting each Homeowner to schedule an appointment to estimate their bid proposal. The Contractor is also responsible to review the scope of work and pictures, the submittal conditions and general conditions disclosures. By signing this form, the Contractor accepts responsibility for the extent and character of work to be performed.

COMPANY NAME _____ DATE _____

STREET ADDRESS _____ P O BOX _____

CITY _____ STATE _____ ZIP _____

TELEPHONE NUMBER _____ DUNS NUMBER _____

AUTHORIZED SIGNATURE: _____



Jacques M. Roy
 Mayor

Case Number: CD-12909
Address: 618 APPLEWHITE

Question	Comment	Amount
Install new / remove and replace siding . Use only treated lumber.	rotten siding on front porch	
Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.	replace/repair attic staircase,weatherstrip and insulate	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL \$	

Project Number: **CD-12909**
Address: **618 APPLEWHITE**
Inspection Date: **6/7/2017**



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6/7/2017 2:17:39 PM

Case Number: CD-12937

Address: 4411 3rd

Question	Comment	Amount
Install new 24" chrome plated grab bar in bathroom, located near tub. Firmly secure by minimum 1 1/4" screws to studs or 2" x 6" blocking. Mount bar at a 45° angle.		
Rehang existing exterior door(s) in such a manner as to insure proper, plumb and secure fit. Make any and all necessary adjustments to frame and walls to insure proper fit. Replace door casing(s) and jamb. Lead test required.	front, replace ext trim on sliding glass door on back	
Caulk all exterior sides of windows and doors.		
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.	Replace attic staircase	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12937**
Address: **4411 3rd**
Inspection Date: **6/8/2017**



6/8/2017 4:56:42 PM



6/8/2017 4:56:13 PM



6/8/2017 4:56:44 PM

Case Number: CD-12936
Address: 4915 E. Sandy Bayou

Question	Comment	Amount
Remove existing deteriorated window frame unit. Remove existing rotten lumber around window unit and replace with new #2 or better grade lumber. Replace with single paned aluminum window, factory weather-stripped with full locking capabilities. Caulk around frame with acrylic latex caulking to prevent any air infiltration. Include new 1/2" screen on window. Lead test required.	bedroom 1	
Remove existing exterior door hardware and replace with new entry knob hardware and deadbolt lock. Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. Bore hole for deadbolt, if one does not currently exist.	front door	
Rehang existing exterior door(s) in such a manner as to insure proper, plumb and secure fit. Make any and all necessary adjustments to frame and walls to insure proper fit. Replace door casing(s) and jamb. Lead test required.	front	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12936**
Address: **4915 E. Sandy Bayou**
Inspection Date: **6/20/2017**



6/20/2017 7:51:05 AM



6/20/2017 7:50:45 AM

Case Number: CD-12941
Address: 3228 BELWOOD

Question	Comment	Amount
<p>Install vinyl tub surround kit around bathtub area. Vinyl shall be securely glued to minimum 3/8" plywood and cased with cap moulding. Do not use nails in tileboard.</p>	<p>1st bath</p>	
<p>Install mill finish storm windows on all exterior windows. Storm windows to be factory weather-stripped, capable of being securely locked and equipped with aluminum or vinyl screen. Frames shall be well caulked to insure minimum air infiltration. Irregular sizes shall be custom made to insure adequate and secure fit. *Excluding windows with A/C units.</p>	<p>back door</p>	
<p>Remove existing exterior door units, replace with new metal factory hung exterior door unit(s) with 1"x 4" o/s trim. Door unit(s) are to have built-in weather-stripping and threshold(s). All hinges, screws, locks and trim to be new. Doors are to be flush and plumb with existing walls. Make all necessary adjustments to frame and walls or rebuild walls and replace frames to insure adequate, proper and secure fit. Door(s) shall remain in manufacturer's primed finish. Install peep-hole in new door (s). Level of peephole to be determined by applicants height and installed accordingly. Install new entry knob hardware with deadbolt lock(s) on door(s). Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. *Contractor is to call and arrange for a Header Inspection when the old entry door unit(s) are removed. After inspection is made and photo documentation obtained, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required so that additional photo documentation can be obtained for files. Only after photo documentation has been obtained can the new entry door unit be installed.</p>	<p>back door</p>	
<p>Weather-strip and install new aluminum threshold(s) on exterior door (s). New weather-stripping shall be approximately 3/4" width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.</p>	<p>storage rm ext door</p>	
<p>Caulk all exterior sides of windows and doors.</p>		
<p>Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.</p>		

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

TOTAL \$

Project Number: **CD-12941**
Address: **3228 BELWOOD**
Inspection Date: **6/20/2017**



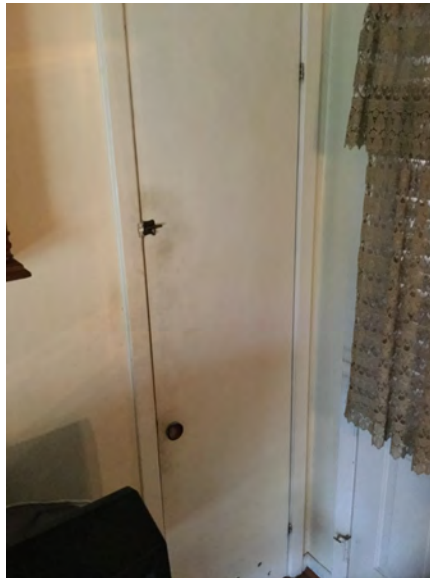
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Case Number: CD-12947

Address: 2903 ELLBEE

Question	Comment	Amount
Remove existing window frame unit. Remove existing rotten lumber around window unit and replace with new #2 or better grade lumber. Replace with single paned aluminum window, factory weather stripped with full locking capabilities. Include ne 1/2 screen on window. Lead test required.	Master bedroom	
Install mill finish storm windows on all exterior windows. Storm windows to be factory weather-stripped, capable of being securely locked and equipped with aluminum or vinyl screen. Frames shall be well caulked to insure minimum air infiltration. Irregular sizes shall be custom made to insure adequate and secure fit. *Excluding windows with A/C units.		
Replace all broken window panes with new plexiglass of accurate size.	back bathroom	
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12947**
Address: **2903 ELLBEE**
Inspection Date: **6/23/2017**



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Case Number: CD-12951

Address: 3005 DOE RUN

Question	Comment	Amount
Install vinyl tub surround kit around bathtub area. Vinyl shall be securely glued to minimum 3/8" plywood and cased with cap moulding. Do not use nails in tileboard.	bathroom #2	
Install new 24" chrome plated grab bar in bathroom, located near tub. Firmly secure by minimum 1 1/4" screws to studs or 2" x 6" blocking. Mount bar at a 45° angle.	master tub	
Install mill finish storm windows on all exterior windows. Storm windows to be factory weather-stripped, capable of being securely locked and equipped with aluminum or vinyl screen. Frames shall be well caulked to insure minimum air infiltration. Irregular sizes shall be custom made to insure adequate and secure fit. *Excluding windows with A/C units.	garage entrance	
Weather-strip and install new aluminum threshold(s) on exterior door (s). New weather-stripping shall be approximately 3/4" width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.	front door	
Rehang existing exterior door(s) in such a manner as to insure proper, plumb and secure fit. Make any and all necessary adjustments to frame and walls to insure proper fit. Replace door casing(s) and jamb. Lead test required.	just replace exterior casing on front door	
Caulk all exterior sides of windows and doors.		
Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.	install new attic access stairway	

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

TOTAL \$

Project Number: **CD-12951**
Address: **3005 DOE RUN**
Inspection Date: **6/26/2017**



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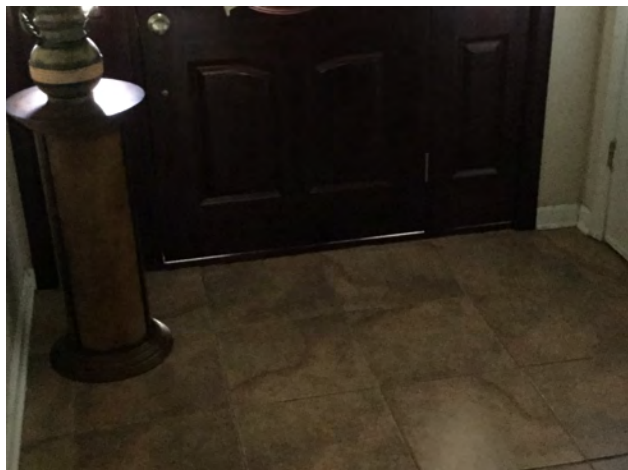


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Project Number: **CD-12951**
Address: **3005 DOE RUN**
Inspection Date: **6/26/2017**



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Case Number: CD-12984

Address: 2404 Madeline

Question	Comment	Amount
Install vinyl tub surround kit around bathtub area. Vinyl shall be securely glued to minimum 3/8" plywood and cased with cap moulding. Do not use nails in tileboard.	Master bathroom	
Install new / remove and replace handrails. Use only treated lumber.	replace floor decking on front porch	
Replace all broken window panes with new plexiglass of accurate size.	3'x3' back of the house	
Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.	Back addition	
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL \$	

Project Number: **CD-12984**
Address: **2404 Madeline**
Inspection Date: **7/26/2017**



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