



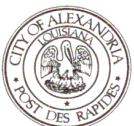
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301
318-449-5074 Office / 318-449-5031 Fax
cda@cityofalex.com

CmDv HOME HOUSING MAJOR REHAB BID PACKET

BIDS DUE BY:
JUNE 30, 2017
9:00 A.M.

CmDv #1702: HOME MULTI-DISCIPLINE

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Contractor's Bid Proposal Price Sheet - Itemize price for each structure - Complete, sign, return in sealed Bid Proposal packet
Attachment #4	Scopes of Work and Photos - Multi-Discipline work descriptions for 4 addresses



Jacques M. Roy
Mayor



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CmDv HOME Major Rehab Program Bid Packet - Submittal Conditions

BID SUBMITTAL DEADLINE / BID OPENING: 9:00 am on Friday, June 30, 2017

ATTENTION: *Qualified Contractors*

Please find attached the discipline specific BID SCOPES OF WORK (Attachment #4) described in each package. All sealed bid proposals must be delivered to the address in the letterhead above by the deadline specified.

The SEALED bid package must bear your Community Development issued Qualified Contractor ID# on the OUTSIDE FRONT of the envelope. Packages without this information will immediately be rejected and unopened. No email, faxed or call-in bids will be accepted.

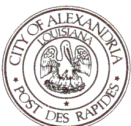
Inside the bid proposal package submitted, shall include the signed Bid Proposal Price sheet(s) (Attachment #3). All bids shall be signed by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. This sheet must include a total price for each houses listed. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, DUNS Number and Contractor Authorized Signature. Any proposal without this information will immediately be rejected. You are not required to submit the individual work description or picture pages of each bid packet grouping. If you have questions about the submittal of documentation, contact the Rehab Program Manager at (318) 449-5074.

Bidders are responsible to read all Attachments 1-4. The terms applicable to the bid award and contract are defined and may affect bid proposal pricing.

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the bid packet. The City Inspector does not have to accompany you to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner has no authority to alter the scope. The scope of work includes pictures taken by the City Inspector to assist in the description of work. If you have questions concerning the scope of work description, contact the Rehab Program Manager at (318) 449-5074.

All bidders will be provided with a Bid Tabulation result sheet within 10 calendar days after the bid opening. Awarded contracts will be fully executed within thirty (30) calendar days of the bid tabulation. The date and time will be scheduled by the Rehab Program Manager and you will be notified.

We appreciate your interest in working with Community Development on this Federally funded program to improve the housing standards in our community!



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Attachment #1



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HOME Major Rehab Program Bid Packet – General Conditions

1. It is the intent of the City of Alexandria's Community Development Department on behalf of the qualified homeowner to secure bid proposals for scopes of work for Rehab repairs at various privately owned residential properties within the Alexandria City limits.
2. Said bid packet shall consist of: Cover Page; Submittal Conditions (Attachment 1); General Conditions (Attachment 2); Bid Proposal Price Sheet (Attachment 3); and Work Description with photographs (Attachment 4).
3. Proposals must be submitted on the Bid Proposal Price Sheet (Attachment #3) provided. Proposals submitted in any other form will be considered non-responsive and will be rejected.
4. No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
5. All bid prices shall include any and all material, labor, equipment, tax and freight charges.
6. Bid Proposal Price Sheets without completed signature /company information will automatically be rejected.
7. Contractor shall honor all work performed, labor and materials installed for a period of one (1) year.
8. All new Contractors submitting a proposal for the first time will be required to complete one unit prior to signing additional contracts, in the event they are awarded multiple addresses.
9. The Contractor shall procure all permits and licenses under federal, state and local laws, pay all charges and fees. The City of Alexandria reserves the right to inspect any and all permits and licenses at any time prior to or during the construction process. The Contractor shall send copies of all permits and licenses to the City of Alexandria, within 5 days of beginning any construction project.
10. The Contractor shall be responsible for securing the Rehab Permit within 5 business days of contract signing. If applicable, multiple Rehab Permits may be issued to a Contractor at any given time. If the Contractor chooses, Rehab Permits may be issued at one time, as the units are completed, however, no more than thirty (30) days will be allowed between the issuance of each Rehab Permit.
11. Contractor agrees to satisfactorily complete the work within ninety (90) consecutive calendar days from the date of the Notice to Proceed / Rehab Permit issuance. No rain days or holidays will be allowed to extend the contract completion date without written permission from the Administrator.
12. Due to the nature of Rehab Repair work, some conditions of the repair may be unknown until the work is in progress. Contractor is responsible to account for these conditions in the bid proposal price submitted. Due to the Federal funding limitations of the program, change orders will be considered on a case by case basis, only where unforeseen conditions are disclosed during the course of the work which are necessary to complete the defined scope of work. If an error escapes our detection in the work description, that oversight shall not relieve the contractor of the responsibility of complete compliance with the requirements of the city's adopted codes and ordinance. The Contractor shall carefully



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study and compare work description with pictures and shall at once report to the City Inspector any error, inconsistency, or omission he may discover.

13. The Contractor shall not negotiate the scope of work with the property owner. Any potential changes to the scope of work must be approved in writing by the Community Development Administrator.
14. Whenever quantities or usages are provided by in the work descriptions, these quantities are estimates only. No guarantee or warranty is given or implied by the City of Alexandria as to the total amount that may or may not be required to complete the work. These estimated numbers may be used to calculate total bid prices.
15. All materials and products shall be new and un-used. Material products shall be of Builder Grade minimum and meet all requirements for code compliance with the current adopted version of the International Residential Building Code. Each respective bidder shall be responsible for insuring that his/her product meets or exceeds this specification.
16. The Owner will be required to allow the Contractor to use, at no cost, existing utilities such as light, heat, power, and water necessary to carry out and complete of the work.
17. The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for coordination of all portions of the work under the Contract. The Contractor is responsible for getting all of the warranties and releases to the Owner.
18. The Contractor shall comply with all Federal, State and local laws, ordinances and regulations affecting the construction / repair of the buildings and appurtenances, and shall defend, indemnify, and hold harmless, the City and its representatives against any claim or liability arising from violation of any such law, ordinance or regulation.
19. Upon satisfactory completion of the repair, the Contractor is subject to random inspections and must schedule a final inspection. The Contractor must be present for each inspection to ensure work is code complaint and to ensure the job site has been left in a safe condition daily.
20. If required in the scope of work description or if required by law, the Contractor shall provide the City of Alexandria with asbestos and/or lead based paint test survey, pursuant to the standards of the Environmental Protection Agency and/or the Louisiana Department of Environmental Quality.
21. If any materials are found to contain Lead Based Paint and are defined in the scope of work for removal, that work shall be performed by an EPA Certified Abatement Contractor, who will act as a subcontractor under the Prime Contractor.
22. If required in the scope of work description or if required by law, the Contractor is responsible for obtaining a Lead Paint Clearance Test. All paint chip, dust or soil samples shall be collected and analyzed in accordance with standards established by the State under a program authorized by EPA in accordance with 40 CFR 745.89 and by Guidelines for the Evaluation and Control of Lead Based Paint Hazards in Housing 24 CFR 35. All Clearance Testing must be performed by a State Licensed Lead Paint Risk Assessor. A copy of the State License and Clearance Report will be required prior to payment. The Contractor must be trained in accordance with the Toxic Substances Control Act Section 402 and received certification by EPA to conduct lead based paint renovation, repair and painting activities pursuant to 40 CFR 745.89.



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23. All "nonexempt" construction or demolition debris shall be properly disposed of in a DEQ approved permitted disposal site or transfer facility according to DEQ regulations. Weighing tickets must be submitted to the Community Development Department as documentation of proper disposal prior to receiving payment. This may be subject to an audit by the City of Alexandria.
24. The Contractor agrees to carry a commercial general liability policy that covers both bodily injury and property damages in an amount of no less than \$100,000 in liability coverage. In no event shall the commercial general policy limits be less than the value of the structure to receive work. Additionally, the Contractor shall provide the City with a current Certificate of Insurance setting forth all insurance requirements.
25. The Contractor agrees to carry Workers' Compensation Insurance pursuant to Louisiana Law. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have Workers' Compensation Insurance in full force and effect.
26. The Contractor shall furnish satisfactory evidence of commercial automotive liability insurance coverage not less than the minimum State Law requirements on all vehicles being used on this project in the contract award. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have commercial automotive liability insurance in effect.
27. Parties involved are to understand that all salvage rights belong to the Contractor.
28. The Contractor shall defend, indemnify, and hold harmless, the City and its representatives against all claims arising from injuries to persons or damages to property due to neglect by the contractor.
29. Pursuant to LA R.S 38:2212.1C.2, any manufacturer's preference provided is descriptive, but non-restrictive, and is used only to indicate minimum requirement for type, grade and quality unless otherwise specified.
30. Pursuant to LA R.S. 38:2212.A.1.b, the provisions and requirement of this bid shall not be considered as informalities and shall not be waived by the City of Alexandria. Therefore, conditions and specifications on this bid form shall be strictly enforced and any and all alterations, deviations, and non-compliance to said conditions and specifications, either on the bid form or by separate attachment, shall be grounds for immediate disqualification.
31. In case of a mathematical discrepancy between unit price and extensions, the unit price shall prevail.
32. All erasures or corrections on the bid form must be initialed and the City of Alexandria may rely on the apparent authority represented by the initials.
33. The City of Alexandria, on behalf of the Owner, reserves the right to reject for cause any and all bids or parts of bids, or accept bids most beneficial to the Owner. Conditional proposals, or those which take exception to the specifications, will be considered non-responsive and will be rejected.
34. Contractor shall furnish all labor, materials, and equipment necessary to accomplish all of the work required by the General Conditions and Work Description for the Rehab Program of the attached properties. Labor shall be performed by skilled and competent craftsmen. The Community Development Inspector, with the authority of the Owner, shall have the right to have personnel removed from the job who are not performing their services in a workmanlike manner. All



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materials shall be cut and fit tight and nailed in place on the job. Materials shall be free from all pencil and kerfed marks. Finish materials shall be selected by the Contractor to match the quality, color and décor of existing like materials in the house.

35. Contractor agrees to provide a drug free workplace which prohibits the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in the workplace. Contractor or any of their workers or subcontractors will be prohibited from smoking inside a person's residence.
36. Keep premises clean and orderly during the course of work and remove all debris upon completion of work. Any and all materials and equipment removed and replaced as part of the work shall belong to the Contractor. Where buildings to be remodeled are furnished and occupied by Owners or their tenants, the prime Contractors, and Sub-Contractor shall make all allowances in their proposals for whatever inconvenience is incurred, i.e., working around furniture, adjusting working hours to accommodate Owners or tenants daily routines, etc. The Contractor shall cover all carpets furniture, etc. in the work area with drop clothes. Passageways and hallways shall be kept clear of debris, lumber, or equipment. Bulk materials may not be stored inside the building. The Owner shall make a reasonable effort to move furniture and rugs to create clear working space for the Contractor.
37. When any bid is accepted for the construction, a written contract shall be executed by and between the Property Owner and the Contractor. No Home Improvement Contract between the Owner and the Contractor can be executed until a grant agreement has been executed by the Mayor of the City of Alexandria and the Property Owner. Should the bidder to whom the contract is awarded fail to execute the contract, the award shall then be made to the next lowest responsible responsive bidder, or re-advertised for public bid, said decision to be in the sole judgment of the Administrator, on behalf of the Owner. This action may result in debarment and the loss of bidding privileges for a period of two (2) years.
38. Contractor shall be paid 100% of the contract amount payable within thirty (30) calendar days after receipt of Final inspection with the signed Owner & Contractors Acceptance, Warranty & Release form; Contractor Release of Lien Affidavit; and the Contractors final invoice with Owners approval.
39. On any bid proposals awarded, the Contractor may be required to furnish a list of all suppliers and sub-contractors on each Property location project awarded. In addition, each sub-contractor listed shall have amount of said sub-contract stated. Documentation will be sent to the Contractor via email one week before the scheduled contract signing date so that it is completed by the time of signing.
40. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's AFEAT (Alexandria Fairness, Equality, Accessibility, and Teamwork) Program. Participation by minority and/or disadvantaged business enterprise firms is encouraged. The AFEAT Program should be inquired about through the City's Legal Division.
41. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's Non-Discrimination Statement. The Non-Discrimination Program should be inquired about through the City's Legal Division.
42. Any bidder that is found listed on the Federal Government's SAM's (System for Award Management) website at www.sam.gov/portal/sam, under the advanced search feature for EPLS (Excluded Parties List System), shall automatically be rejected for the award of this bid, by Category and/or in its entirety.



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43. The Contractor shall exercise proper precaution at all times from the protection of persons and property and shall be responsible for all damages to persons for property, either on or off the site, which occur as a result of his prosecution. Codes shall be observed and the contractor shall take or cause to be taken such additional safety and health measures as the Community Development Department may determine to be reasonably necessary. Machinery, equipment, and all hazards shall be awarded in accordance with safety provisions of the "Manual of Accident Prevention in Construction" published by the Associated General Contractors of America, Inc., to the extent that such provisions are not in conflict with applicable local laws.
44. Upon request by the City, the successful bidder may be required to furnish additional information on material(s) and/or product(s) bid for evaluation purposes.
45. One copy of the Parts Manual, Service Manual, Operator's Manual and/or Warranty for all products and materials installed shall be given to the Property Owner by the Contractor once the work is complete.
46. The Contractor and Owner will agree that should any dispute arise concerning the work performed under the Contract Agreement, payment, or warranty, the parties agree to submit the dispute to the Community Development Office for a resolution in accordance with Article XVI of the HOME Rehab Program Policy Guidelines and such determination will be final and without recourse.
47. Debarment: All work performed will be guaranteed by the Contractor for a period of one (1) year following Final Payment. Any Contractor who continually fails to correct valid homeowner complaints within this period or any Contractor found in Default of a Contract will be notified by certified mail that he has been debarred and no further proposals will be accepted from him for a period of two (2) years following debarment.
48. The Contractor by the execution of the Contract shall in no way be relieved of any obligation under it due to his failure to receive or examine any form of legal instrument or to visit the site and acquaint himself with the conditions there existing and Community Development will be justified in rejecting any claims based on "Conditions", latent or otherwise.
49. The Contractor shall be advised that no member or Delegate to the Congress of the United States, and no Resident Commissioner, shall be admitted to any share or part of any possible bid award or to any benefit to arise from the same.
50. The Contractor shall be advised that no member, officer, or employee of the Local Public Body, or its designees or agents, non-member of the governing body of the locality in which the (Program, Project, or Similar) is situated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the (Program, Project or Similar) during their tenure or for one year thereafter, shall have any interest, direct or indirect, in any Contract or Sub-Contract, or the proceeds thereof, for work to be performed in connection with the (Program, Project, etc).



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HOME Major Rehab Program Bid Packet – Contractor’s Bid Proposal Price Sheet

The undersigned offers to complete the HOME Rehab Program of the following residences at the bid price stated for EACH, individual housing unit listed on this sheet. The houses herein offered for repair will be awarded to the lowest most responsive responsible bidder. The city reserves the right to reject any and all proposals.

#	MPN Project #	Address to receive work	Property Owner’s name	Property Owner’s Phone #	Contractor’s Total Bid Price per structure	Property Owner’s Initials for Acceptance of Bid Price after Bid Opening
1	CD-12918	3716 Carl Road	Elton McCall	318-664-7333 318-664-1939		
2	CD-12930	3328 Evergreen Drive	Doris Miller	318-880-4977		
3	CD-12658	3512 Evergreen Drive	Hattie Osteen	318-623-2152		
4	CD-12917	3811 Maywood Drive	Karen Baber	318-542-8686		
ITEMIZE PRICE FOR EACH PROPERTY LISTED ABOVE						

- Proposals must be submitted on this Bid Proposal Price Sheet (Attachment #3). Proposals submitted in any other form will be considered non-responsive and will be rejected.
- No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
- All bid prices shall include any and all material, labor, equipment, tax and freight charges.
- Bid Proposal Price Sheets without completed signature /company information will automatically be rejected. All information must be completed in ink. Signature must be hand-written. Electronic or stamped signatures will be rejected. All information requested below must be in print, with the exception of the Authorized Signature.
- The Contractor is responsible for contacting each Homeowner to schedule an appointment to estimate their bid proposal. The Contractor is also responsible to review the scope of work and pictures provided, the bid conditions and general conditions disclosures. By signing this form, the Contractor accepts responsibility for the extent and character of work to be performed.

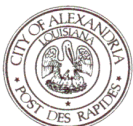
COMPANY NAME _____ DATE _____

STREET ADDRESS _____ P O BOX _____

CITY _____ STATE _____ ZIP _____

TELEPHONE NUMBER _____ DUNS NUMBER _____

AUTHORIZED SIGNATURE: _____



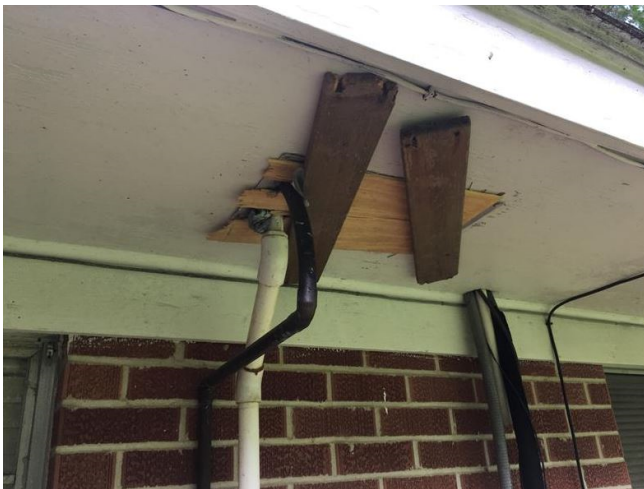
Jacques M. Roy
 Mayor

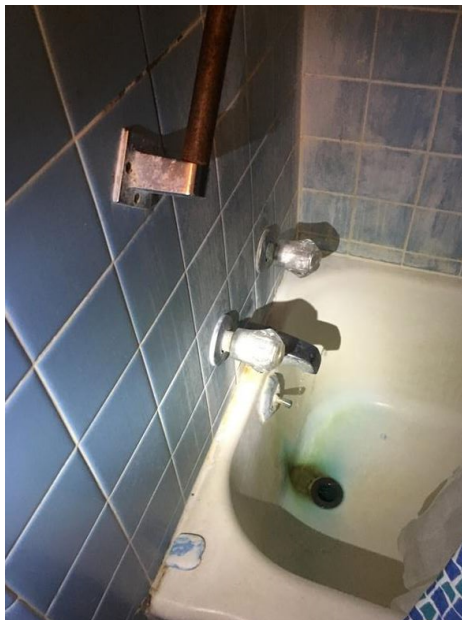
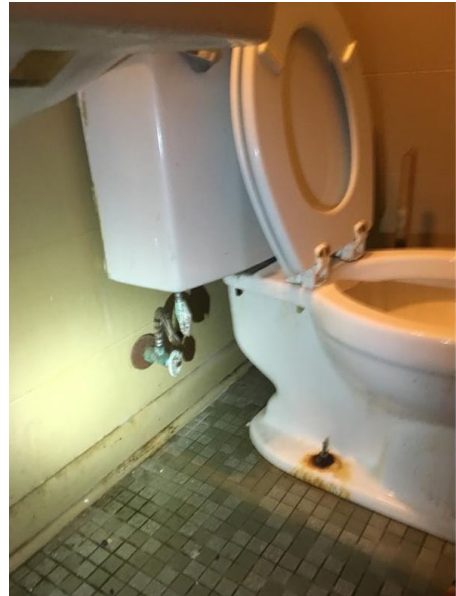
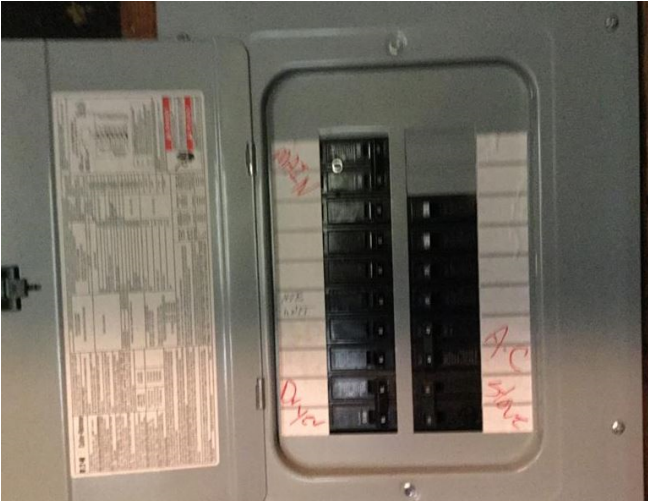


Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle, and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Rustic Black shall be the standard color selection or equal. Contractor shall be responsible to verify the number of layers of existing roofing to be removed in the bid price submitted. No change orders for unforeseen layers will be allowed.</p>		
<p>Repair all spot leaks in existing roof and/or deteriorated decking material. This may require replacement of a minimum 7/16" osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining existing shingles as much as possible. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Replacement of decking shall be included in bid price submitted. No change orders to replace unforeseen damaged decking will be allowed.</p>	leaks into living room from valley	
<p>Remove and/or install complete new lead roof jacks and waterproof.</p>	Replace roof jack	
<p>Replace damaged existing soffit and/or fascia with like materials or perforated hardiboard soffit panels.</p>	on the back near a/c	
<p>Install 8in x 16in undereave soffit vents on house every 4 foot on center. All vents to be screened on interior side. Vent color shall be white. If the soffit is narrow, use appropriate smaller size to ensure fit.</p>	on back near a/c	
<p>Insulate attic with R-30 value blown insulation. Contractor to be responsible for attic access for sub- contractor. Care shall be exercised to provide 6in clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.</p>		
<p>Remove existing damaged windows and framing to repair or replace with new. The window shall be a complete unit assembly in mill finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with single paned aluminum windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new 1/2in screens on all windows. Irregular size units shall be custom made to fit properly. Contractor is to call for a Header Inspection for doors or windows when the old unit(s) is removed. After inspection is made, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required prior to hanging the new unit.</p>	qty 1 - 5'x3' kitchen window	
<p>Caulk and seal all openings in exterior walls leading to the interior of the house. This includes holes for drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. Caulking to be installed in such a manner as to be permanent and prevent air infiltration.</p>	all windows to be recaulked	
<p>Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.</p>		

Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.	living rm stains from roof leak	
Remove existing deteriorated subfloor and replace with new framing members and floor decking of #2 standard grade minimum. Framing members and floor decking shall be adequately sized to support the dead and live load weight it holds in accordance with the International Residential Code.	kitchen- subfloor and floor covering needs replacement	
Replace all leaking or deficient faucets and drains, replace with new Builder grade equivalent.	Kitchen sink faucet	
Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.	Lavatory p trap leaking	
Install new toilet bowl wax gasket with rubber insert and bowl sealing compound in bathroom.	Leaking around toilet	
Install washing machine incatch a dripin drain in wall with hot and cold water supply.		
Install new 40 gallon gas water heater. Water heater to have gas cock and water inlet cut off valves. Rheem inEnergy Miser in or agency approved equal.		
Vent water heater to exterior using type in Bin metalbestos.		
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.		
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.	10 junction boxes and covers for attic area	
Install new Builders grade fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.		
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	add circuit for kitchen countertop, add outlet	
Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches.	replace carport light	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	6- total gfci outlets	
Install hard wired combination smoke and carbon monoxide detector in each sleeping room, outside of a sleeping area and on each habitable story. When more than one smoke alarm is required, the alarm devices shall be interconnected. be hard-wires and have battery back-up.	add circuit - 3 smokes and 1 combination.	
Install new Builders grade central heating and cooling system of adequate tonnage to service the interior volume of the structure. Unit shall be all electric. Install programmable wall mounted thermostat. Return air vent to be installed as practicable for proper function of the unit. Install as per International Residential code. Licensed Mechanical Contractor shall make installations and be responsible for warranty.	approximately 3.5 ton unit with furnace	

TOTAL BID PRICE \$





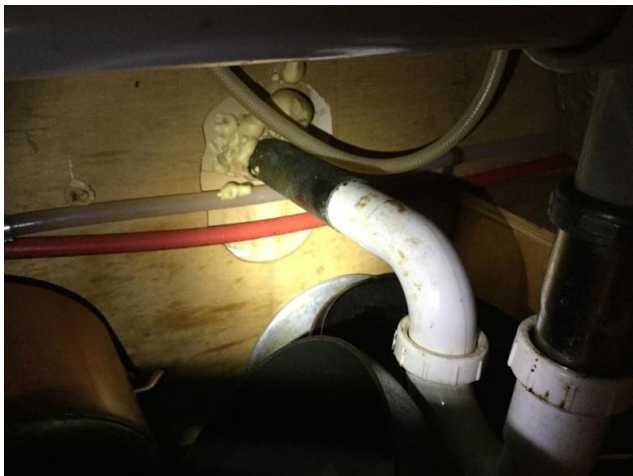
Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle, and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Rustic Black shall be the standard color selection or equal.		
Replace damaged existing soffit and/or fascia with like materials or perforated hardiboard soffit panels.	2 spots (front& back)	
Insulate attic with R-30 value blown insulation. Contractor to be responsible for attic access for sub- contractor. Care shall be exercised to provide 6in clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Redeck porch with treated lumber. Decking shall be uniform and tight in fit. All rotten, broken or deficient joists and sills shall be replaced. Treated lumber shall remain unfinished with regard to stain or paint finish.	demolish and rebuild porch deck. replace 1 column on far left on front porch	
Remove and replace door casings and jams on exterior door(s) of residence.	qty 1 - side door	
Paint any newly installed soffit and fascia hardiboard panels exterior of house.		
Caulk and seal all openings in exterior walls leading to the interior of the house. This includes holes for drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. Caulking to be installed in such a manner as to be permanent and prevent air infiltration.	windows	
Install 22in x 30in attic access scuttle hole or larger, enough to allow passage for the largest appliance located in the attic. Install 1in x 4in pine trim and 3/4in plywood to cover opening. Paint opening cover. Weather strip and insulate scuttle hole cover	in laundry - relocate and resize to 22x30 b/c gas pipe crosses existing opening. Repair ceiling for existing scuttle	
Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Feather all edges. Texture sheetrock to match adjacent finish.	2nd bedrm, dining (roof leak)	
Paint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke damage is evident.	dining	
Paint any newly hung sheetrock.	dining	
Rebuild electric service to 200 amps (if the house is all electric). New service shall include new copper ground rod.		
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.		
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates	5- junction box with covers for use in attic	
Install new Builders grade fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.		
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded	add refrigerator circuit , add 1 kitchen countertop circuit	
Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches.	2 - front porch light, side door light	

Project Number: CD-12930
 Address: 3328 Evergreen Drive

Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	5- gfci in kitchen counter top 1- front back porch with weatherproof cover.	
Install hard wired combination smoke and carbon monoxide detector in each sleeping room, outside of a sleeping area and on each habitable story. When more than one smoke alarm is required, the alarm devices shall be interconnected. be hard-wires and have battery back-up.	3- smokes, 1- carbon	
Repair existing central heating and cooling system to operable working condition. This could include thermostat, plenum, compressor, duct work, etc. Licensed Mechanical Contractor to determine repairs necessary.	replace flex line to unit gas valve with galvanized pipe	
Replace all leaking or deficient faucets and drains, replace with new.	Replace hall bath lav faucet	
Replace all leaking or deficient traps, wastes, and valves, replace with new.	Waste kitchen sink and spray hose	
Remove existing faulty gas cock, replace with new.	Extend iron pipe out of heater enclosure	
Remove existing tub faucet and replace with new tub faucet. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.	qty 1- hall bathtub faucet only	
Remove entire existing toilet tank guts and replace with new ballcock, flush valve, lift wires, flush lever float and appropriate gaskets in toilet bowl. Ensure proper operation of toilet.	qty 2	
TOTAL BID PRICE		\$



Project Number: CD-12930
Address: 3328 Evergreen Drive





Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle, and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Rustic Black shall be the standard color selection or equal. Contractor shall be responsible to verify the number of layers of existing roofing to be removed in the bid price submitted. No change orders for unforeseen layers will be allowed.		
Remove and/or install complete new lead roof jacks.	6	
Remove and/or install 12in exterior turbine vents on roof in standard mill finish.	replace as needed	
Replace damaged existing soffit and/or fascia with like materials or perforated hardiboard soffit panels.	Soffit rear of structure	
Install 8in x 16in undereave soffit vents on house every 4 foot on center. All vents to be screened on interior side. Vent color shall be white.	All	
Insulate attic with R-30 value blown insulation. Contractor to be responsible for attic access for sub- contractor. Care shall be exercised to provide 6in clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Remove existing exterior door units, replace with new metal factory pre-hung exterior door unit(s) with 1inx 4in o/s trim. Door unit to remain factory unfinished. Door unit(s) are to have built in weather-stripping and threshold(s). Install peep hole in new door(s). Level of peephole to be determined by applicants height and installed accordingly. Install new entry knob hardware with deadbolt lock(s) on door(s). Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike.	Front (36") side (32")	
Remove and replace door casings and jams on exterior door(s) of residence.	back door storage room	
Remove existing damaged windows and framing to repair or replace with new. The window shall be a complete unit assembly in mill finish. Replace with damaged lumber with new #2 or better grade lumber. Replace with single paned aluminum windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new 1/2in screens on all windows. Irregular size units shall be custom made to fit properly.	Install 14 storm windows complete with 1/2 screen	
Replace all broken window panes with new plexiglass of .093 inch minimum thickness.	(1) carport window	
Paint all wood exterior surfaces of residence, to include porch, soffits, fascia, windows, exterior door frames.	Wood areas only	

<p>Paint any newly installed soffit and fascia hardiboard panels exterior of house. NO painting shall be done when the surfaces are damp, or during cold, rainy or frost weather. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All surfaces shall be smooth and clean prior to painting. All wood shall receive enough coats to provide adequate coverage but no less than two (2) coats. Paint shall be mixed and applied in accordance with manufacturers specifications. Products shall be applied at full strength with no thinning. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate</p>		
<p>Repair existing damaged kitchen furr down above cabinets. Replacement materials shall match existing. New surface shall be painted or stained to match existing walls or cabinets. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>	kitchen upper cabinets	
<p>Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>	kitchen ceiling	
<p>Repaint or restain existing interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. All nail holes shall be filled and sanded. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>		
<p>Rebuild electric service to 200 amps. New service shall include new copper ground rod.</p>		
<p>Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.</p>		
<p>Label all circuits on panel box, both new and old, with identification data for its function and location.</p>		

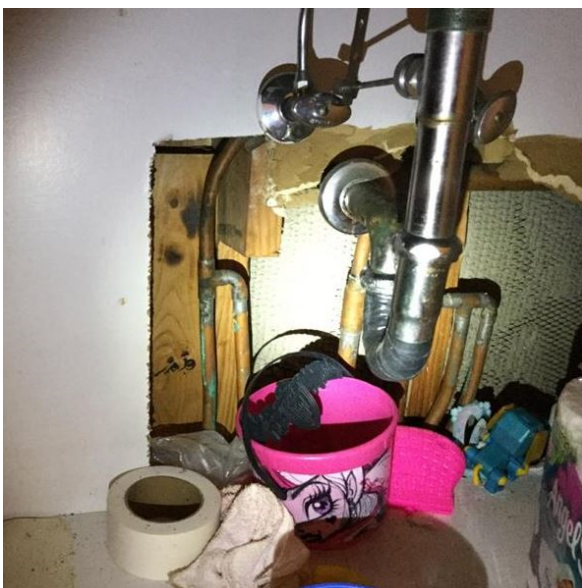
Project Number: CD-12658

Address: 3512 EVERGREEN DRIVE

Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.	Junction box covers in attic , install junction boxes with covers. total approx. 10 covers and 5 boxes.	
Install new fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.	(2) one in each bath	
Install new exterior porch light fixture. All fixtures to be controlled by inside switches.	Front and rear	
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	add a appliance branch circuit with 3 gfci outlets	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	(2) kitchen (1) each bath (1) hall	
Install hard wired combination smoke and carbon monoxide detector in each sleeping room, outside of a sleeping area and on each habitable story. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wires and have battery back-up.	smoke detector in each bedroom, 1- combination smoke and carbon in hallway	
remove existing toilet and replace with new standard white grade Builders grade handicap toilet and seat in bathroom. New toilet to have new bowl wax and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet.	qty - 2, one in each bath	
Install new 7 inch deep double compartment stainless steel sink and trim in kitchen. Sink faucet to be chrome or brass finish, cast metal with brass valve stems with replaceable neoprene washers and removable seats. Strainer basket(s) to be stainless steel. Wastes to be chrome plated brass. Supply lines to be chrome plated brass with cut off valves, complete with escutcheon plates.		
Install new 40 gallon gas water heater. Water heater to have gas cock and water inlet cut off valves. Rheem inEnergymiserin or agency approved equal.		
Vent water heater to exterior using type inBin metalbestos.		
Remove existing tub faucet & shower head and replace with new Builders grade tub faucet and shower head. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.	qty 2	
Install supply line cut off valves on all toilet, lavatory and sink lines lacking cut off valves. Replace all leaking or deficient cut off valves with new chrome plated valves. All supply lines and traps shall be equipped with chrome plated escutcheon plates.	Need separate shut off valves for dishwasher and sink	
Replace all leaking or deficient faucets and drains, replace with new Builder grade equivalent.	Replace lav tub and shower faucets both bathrooms	
Replace all leaking or deficient supply lines, replace with new Builder grade equivalent. Supply lines to be equipped with cut off valves and chrome plated escutcheon plates.	Replace on lavs	
Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.	Replace both bathrooms and kitchen sink	
Remove existing faulty gas cock, replace with new Builders grade equivalent.	Need separate gas cocks for cooktop and oven	
Install washing machine incatch a dripin drain in wall with hot and cold water supply.		
Install cold water faucet / frost proof hose bibb on exterior wall.		
Repair existing central heating and cooling system to operable working condition. This could include thermostat, plenum, compressor, duct work, etc. Licensed Mechanical Contractor to determine repairs necessary.	replace condensing unit , allow required clearence for vent flue piping through roof penetration.	

3512 Evergreen Drive





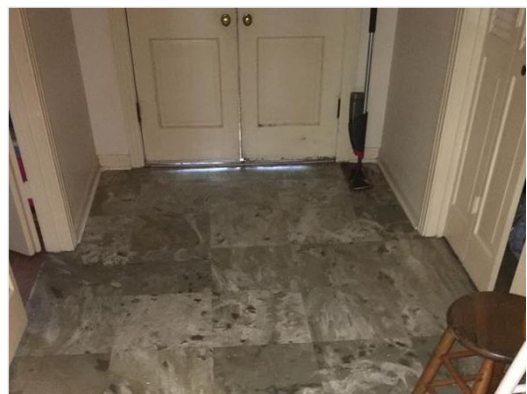
Question	Comment	Amount
Replace damaged existing soffit and/or fascia with like materials or perforated hardiboard soffit panels.	repair left side	
Insulate attic with R-30 value blown insulation. Contractor to be responsible for attic access for sub- contractor. Care shall be exercised to provide 6in clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Remove existing and replace with new aluminum threshold(s) with weatherstripping on exterior door(s). New weather-stripping shall be approximately 3/4in width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.	front door	
Paint any newly installed soffit and fascia hardiboard panels exterior of house. NO painting shall be done when the surfaces are damp, or during cold, rainy or frost weather. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All surfaces shall be smooth and clean prior to painting. All wood shall receive enough coats to provide adequate coverage but no less than two (2) coats. Paint shall be mixed and applied in accordance with manufacturers specifications. Products shall be applied at full strength with no thinning. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.		
Caulk and seal all openings in exterior walls leading to the interior of the house. This includes holes for drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. Caulking to be installed in such a manner as to be permanent and prevent air infiltration.	windows	
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.		
If appliances are located in the attic, walkways and service platforms shall be installed to be in compliance with International Residential Code. This may also require bracing and additional structural support members to hold the weight of appliances.	no walkway to w/h	
Remove existing ceiling tile. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock. Ceiling to be level with no visible sag.	den, living	
Install new 18in chrome plated grab bar in bathroom. Bar to be conveniently located on the outside of bathtub / shower wall and another inside tub wall and firmly secured by minimum 1 1/4in screws to studs or sufficient blocking. Mount bars horizontally.	qty 2 - one in each bath	

<p>Install new wood interior solid core door unit & trim. Door, frame and jam to be painted / stained. On all newly installed doors, all hinges, screws, locks and trim to be new. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Door(s) shall remain in manufacturer's primed finish. Contractor is to call for a Header Inspection when the old entry door unit(s) are removed. After inspection is made, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required prior to hanging the new door. Door hardware color choice shall be chrome or brass.</p>	<p>1-34" RH</p>	
<p>Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>	<p>kitchen, dining</p>	
<p>Paint any newly hung sheetrock in areas that have physical damage such as holes and severe water stains. Sheetrock shall be 1/2" thick minimum or match existing sheetrock thickness for smooth transition. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>	<p>addition/den-1 wall</p>	
<p>Repaint or restain existing interior doors and casing trim. Doors to be covered with product on both sides of door and all 4 edges of door thickness. All nail holes shall be filled and sanded. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>		
<p>Sheet over existing floor with minimum 3/8in B/C plywood. Flash patch all cracks at joints. Install sheet vinyl, securely glued and all appropriate thresholds, carpet bars and finished shoe mold. Applicant shall have a choice of 4 standard patterns for sheet vinyl. Replace with new shoe mould and paint.</p>	<p>addition/den, hallway, 2 bedrms</p>	
<p>Replace all leaking or deficient faucets and drains, replace with new Builder grade equivalent.</p>	<p>Broken faucets</p>	
<p>Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.</p>	<p>Evidence of leakage under kitchen sink</p>	

Project Number: CD-12917

Address: 3811 MAYWOOD DRIVE

Remove existing toilet and replace with new standard white grade Builders grade handicap toilet and seat in bathroom. New toilet to have new bowl wax and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet.		
Clean / Repair / Replace existing tub and/or sink drain assembly, complete with brass waste. Drain cover to be brass or chrome.	Rust around tub drain and lav drain	
Install new toilet bowl wax gasket with rubber insert and bowl sealing compound in bathroom.	Evidence of leakage around toilet	
Install washing machine incatch a dripin drain in wall with hot and cold water supply.		
Install new 40 gallon gas water heater. Water heater to have gas cock and water inlet cut off valves. Rheem inEnergymiserin or agency approved equal.		
Vent water heater to exterior using type inBin metalbestos.		
Rebuild electric service to 200 amps (if the house is all electric). New service shall include new copper ground rod.		
Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.		
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Examine all visible wiring. Repair any and all dangerous or deficient wiring, duplex receptacles, switches and/or light fixtures and cover plates. Replace any visible spliced wiring with junction boxes. Replace missing or broken cover plates.	open wiring in attic . install approx. 5 junction boxes with covers and 5 boxes with existing boxes. move junction box from attic tair access to area in attic.	
Install new Builders grade fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.	vent to outside.	
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.	add kitchen counter top circuit with outlet., supply a circuit for refrigerator, counter top circuit to be gfci.	
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.	approx. 15 receptacle covers, 10 wall switch covers	
Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches.	qty 2 - ext lights w gfci outlet (front & back porched)	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	add circuit and outlet for each bathroom.	
Install hard wired combination smoke and carbon monoxide detector in each sleeping room, outside of a sleeping area and on each habitable story. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wires and have battery back-up.	circuit for 4 - smoke detectors and 2- combination detectors.	
	TOTAL BID PRICE	\$



Attachment #4



