



Community Development Department
 Attn: Rehab Program Manager
 625 Murray Street, 3rd Floor
 Alexandria, LA 71301
 318-449-5074 Office / 318-449-5031 Fax
 cda@cityofalex.com

CmDv HOME HOUSING MAJOR REHAB BID PACKET

BIDS DUE BY:
OCTOBER 13, 2017
9:00 A.M.

CmDv #1712: HOME – MAJOR REPAIR

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Contractor’s Bid Proposal Price Sheet - Itemize price for each structure - Complete, sign, return in sealed Bid Proposal packet
Attachment #4	Scopes of Work and Photos - Multi-Discipline work descriptions for 4 addresses



Jacques M. Roy
 Mayor



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CmDv HOME Major Rehab Program Bid Packet - Submittal Conditions

BID SUBMITTAL DEADLINE / BID OPENING: 9:00 am on Friday, October 13, 2017

ATTENTION: *Qualified Contractors*

Please find attached the discipline specific **BID SCOPES OF WORK** (Attachment #4) described in each package. All sealed bid proposals must be delivered to the address in the letterhead above by the deadline specified.

The SEALED bid package must bear your Community Development issued **Qualified Contractor ID#** on the OUTSIDE FRONT of the envelope. Packages without this information will immediately be rejected and unopened. No email, faxed or call-in bids will be accepted.

Inside the bid proposal package submitted, shall include the signed Bid Proposal Price sheet(s) (Attachment #3). All bids shall be signed by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. This sheet must include a total price for each houses listed. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, DUNS Number and Contractor Authorized Signature. Any proposal without this information will immediately be rejected. You are not required to submit the individual work description or picture pages of each bid packet grouping. If you have questions about the submittal of documentation, contact the Rehab Program Manager at (318) 449-5074.

Bidders are responsible to read all Attachments 1-4. The terms applicable to the bid award and contract are defined and may affect bid proposal pricing.

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the bid packet. The City Inspector does not have to accompany you to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner has no authority to alter the scope. The scope of work includes pictures taken by the City Inspector to assist in the description of work. If you have questions concerning the scope of work description, contact the Rehab Program Manager at (318) 449-5074.

All bidders will be provided with a Bid Tabulation result sheet within 10 calendar days after the bid opening. Awarded contracts will be fully executed within thirty (30) calendar days of the bid tabulation. The date and time will be scheduled by the Rehab Program Manager and you will be notified.

We appreciate your interest in working with Community Development on this federally funded program to improve the housing standards in our community!



Jacques M. Roy
Mayor

Attachment #1



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HOME Major Rehab Program Bid Packet – General Conditions

1. It is the intent of the City of Alexandria's Community Development Department on behalf of the qualified homeowner to secure bid proposals for scopes of work for Rehab repairs at various privately owned residential properties within the Alexandria City limits.
2. Said bid packet shall consist of: Cover Page; Submittal Conditions (Attachment 1); General Conditions (Attachment 2); Bid Proposal Price Sheet (Attachment 3); and Work Description with photographs (Attachment 4).
3. Proposals must be submitted on the **Bid Proposal Price Sheet (Attachment #3)** provided. Proposals submitted in any other form will be considered non-responsive and will be rejected.
4. No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
5. All bid prices shall include any and all material, labor, equipment, tax and freight charges.
6. Bid Proposal Price Sheets without completed signature /company information will automatically be rejected.
7. Contractor shall honor all work performed, labor and materials installed for a period of one (1) year.
8. All new Contractors submitting a proposal for the first time will be required to complete one unit prior to signing additional contracts, in the event they are awarded multiple addresses.
9. The Contractor shall procure all permits and licenses under federal, state and local laws, pay all charges and fees. The City of Alexandria reserves the right to inspect any and all permits and licenses at any time prior to or during the construction process. The Contractor shall send copies of all permits and licenses to the City of Alexandria, within 5 days of beginning any construction project.
10. The Contractor shall be responsible for securing the Rehab Permit within 5 business days of contract signing. If applicable, multiple Rehab Permits may be issued to a Contractor at any given time. If the Contractor chooses, Rehab Permits may be issued at one time, as the units are completed, however, no more than thirty (30) days will be allowed between the issuance of each Rehab Permit.
11. Contractor agrees to satisfactorily complete the work within ninety (90) consecutive calendar days from the date of the Notice to Proceed / Rehab Permit issuance. No rain days or holidays will be allowed to extend the contract completion date without written permission from the Administrator.
12. Due to the nature of Rehab Repair work, some conditions of the repair may be unknown until the work is in progress. Contractor is responsible to account for these conditions in the bid proposal price submitted. Due to the Federal funding limitations of the program, change orders will be considered on a case by case basis, only where unforeseen conditions are disclosed during the course of the work which are necessary to complete the defined scope of work. If an error escapes our detection in the work description, that oversight shall not relieve the contractor of the responsibility of complete compliance with the requirements of the city's adopted codes and ordinance. The Contractor shall carefully



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study and compare work description with pictures and shall at once report to the City Inspector any error, inconsistency, or omission he may discover.

13. The Contractor shall not negotiate the scope of work with the property owner. Any potential changes to the scope of work must be approved in writing by the Community Development Administrator.
14. Whenever quantities or usages are provided by in the work descriptions, these quantities are estimates only. No guarantee or warranty is given or implied by the City of Alexandria as to the total amount that may or may not be required to complete the work. These estimated numbers may be used to calculate total bid prices.
15. All materials and products shall be new and un-used. Material products shall be of Builder Grade minimum and meet all requirements for code compliance with the current adopted version of the International Residential Building Code. Each respective bidder shall be responsible for insuring that his/her product meets or exceeds this specification.
16. The Owner will be required to allow the Contractor to use, at no cost, existing utilities such as light, heat, power, and water necessary to carry out and complete of the work.
17. The Contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for coordination of all portions of the work under the Contract. The Contractor is responsible for getting all of the warranties and releases to the Owner.
18. The Contractor shall comply with all Federal, State and local laws, ordinances and regulations affecting the construction / repair of the buildings and appurtenances, and shall defend, indemnify, and hold harmless, the City and its representatives against any claim or liability arising from violation of any such law, ordinance or regulation.
19. Upon satisfactory completion of the repair, the Contractor is subject to random inspections and must schedule a final inspection. The Contractor must be present for each inspection to ensure work is code complaint and to ensure the job site has been left in a safe condition daily.
20. If required in the scope of work description or if required by law, the Contractor shall provide the City of Alexandria with asbestos and/or lead based paint test survey, pursuant to the standards of the Environmental Protection Agency and/or the Louisiana Department of Environmental Quality.
21. If any materials are found to contain Lead Based Paint and are defined in the scope of work for removal, that work shall be performed by an EPA Certified Abatement Contractor, who will act as a subcontractor under the Prime Contractor.
22. If required in the scope of work description or if required by law, the Contractor is responsible for obtaining a Lead Paint Clearance Test. All paint chip, dust or soil samples shall be collected and analyzed in accordance with standards established by the State under a program authorized by EPA in accordance with 40 CFR 745.89 and by Guidelines for the Evaluation and Control of Lead Based Paint Hazards in Housing 24 CFR 35. All Clearance Testing must be performed by a State Licensed Lead Paint Risk Assessor. A copy of the State License and Clearance Report will be required prior to payment. The Contractor must be trained in accordance with the Toxic Substances Control Act Section 402 and received certification by EPA to conduct lead based paint renovation, repair and painting activities pursuant to 40 CFR 745.89.



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23. All "nonexempt" construction or demolition debris shall be properly disposed of in a DEQ approved permitted disposal site or transfer facility according to DEQ regulations. Weighing tickets must be submitted to the Community Development Department as documentation of proper disposal prior to receiving payment. This may be subject to an audit by the City of Alexandria.
24. The Contractor agrees to carry a commercial general liability policy that covers both bodily injury and property damages in an amount of no less than \$100,000 in liability coverage. In no event shall the commercial general policy limits be less than the value of the structure to receive work. Additionally, the Contractor shall provide the City with a current Certificate of Insurance setting forth all insurance requirements.
25. The Contractor agrees to carry Workers' Compensation Insurance pursuant to Louisiana Law. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have Workers' Compensation Insurance in full force and effect.
26. The Contractor shall furnish satisfactory evidence of commercial automotive liability insurance coverage not less than the minimum State Law requirements on all vehicles being used on this project in the contract award. The Contractor shall provide the City with a Current Certificate of Insurance showing that they have commercial automotive liability insurance in effect.
27. Parties involved are to understand that all salvage rights belong to the Contractor.
28. The Contractor shall defend, indemnify, and hold harmless, the City and its representatives against all claims arising from injuries to persons or damages to property due to neglect by the contractor.
29. Pursuant to LA R.S 38:2212.1C.2, any manufacturer's preference provided is descriptive, but non-restrictive, and is used only to indicate minimum requirement for type, grade and quality unless otherwise specified.
30. Pursuant to LA R.S. 38:2212.A.1.b, the provisions and requirement of this bid shall not be considered as informalities and shall not be waived by the City of Alexandria. Therefore, conditions and specifications on this bid form shall be strictly enforced and any and all alterations, deviations, and non-compliance to said conditions and specifications, either on the bid form or by separate attachment, shall be grounds for immediate disqualification.
31. In case of a mathematical discrepancy between unit price and extensions, the unit price shall prevail.
32. All erasures or corrections on the bid form must be initialed and the City of Alexandria may rely on the apparent authority represented by the initials.
33. The City of Alexandria, on behalf of the Owner, reserves the right to reject for cause any and all bids or parts of bids, or accept bids most beneficial to the Owner. Conditional proposals, or those which take exception to the specifications, will be considered non-responsive and will be rejected.
34. Contractor shall furnish all labor, materials, and equipment necessary to accomplish all of the work required by the General Conditions and Work Description for the Rehab Program of the attached properties. Labor shall be performed by skilled and competent craftsmen. The Community Development Inspector, with the authority of the Owner, shall have the right to have personnel removed from the job who are not performing their services in a workmanlike manner. All



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materials shall be cut and fit tight and nailed in place on the job. Materials shall be free from all pencil and kerfed marks. Finish materials shall be selected by the Contractor to match the quality, color and décor of existing like materials in the house.

35. Contractor agrees to provide a drug free workplace which prohibits the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in the workplace. Contractor or any of their workers or subcontractors will be prohibited from smoking inside a person's residence.
36. Keep premises clean and orderly during the course of work and remove all debris upon completion of work. Any and all materials and equipment removed and replaced as part of the work shall belong to the Contractor. Where buildings to be remodeled are furnished and occupied by Owners or their tenants, the prime Contractors, and Sub-Contractor shall make all allowances in their proposals for whatever inconvenience is incurred, i.e., working around furniture, adjusting working hours to accommodate Owners or tenants daily routines, etc. The Contractor shall cover all carpets furniture, etc. in the work area with drop clothes. Passageways and hallways shall be kept clear of debris, lumber, or equipment. Bulk materials may not be stored inside the building. The Owner shall make a reasonable effort to move furniture and rugs to create clear working space for the Contractor.
37. When any bid is accepted for the construction, a written contract shall be executed by and between the Property Owner and the Contractor. No Home Improvement Contract between the Owner and the Contractor can be executed until a grant agreement has been executed by the Mayor of the City of Alexandria and the Property Owner. Should the bidder to whom the contract is awarded fail to execute the contract, the award shall then be made to the next lowest responsible responsive bidder, or re-advertised for public bid, said decision to be in the sole judgment of the Administrator, on behalf of the Owner. This action may result in debarment and the loss of bidding privileges for a period of two (2) years.
38. Contractor shall be paid 100% of the contract amount payable within thirty (30) calendar days after receipt of Final inspection with the signed Owner & Contractors Acceptance, Warranty & Release form; Contractor Release of Lien Affidavit; and the Contractors final invoice with Owners approval.
39. On any bid proposals awarded, the Contractor may be required to furnish a list of all suppliers and sub-contractors on each Property location project awarded. In addition, each sub-contractor listed shall have amount of said sub-contract stated. Documentation will be sent to the Contractor via email one week before the scheduled contract signing date so that it is completed by the time of signing.
40. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's AFEAT (Alexandria Fairness, Equality, Accessibility, and Teamwork) Program. Participation by minority and/or disadvantaged business enterprise firms is encouraged. The AFEAT Program should be inquired about through the City's Legal Division.
41. As an application eligibility qualification to participate in CmDv's bid process, the Contractor has agreed by document signature to show a good faith effort to comply with the City's Non-Discrimination Statement. The Non-Discrimination Program should be inquired about through the City's Legal Division.
42. Any bidder that is found listed on the Federal Government's SAM's (System for Award Management) website at www.sam.gov/portal/sam, under the advanced search feature for EPLS (Excluded Parties List System), shall automatically be rejected for the award of this bid, by Category and/or in its entirety.



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43. The Contractor shall exercise proper precaution at all times from the protection of persons and property and shall be responsible for all damages to persons for property, either on or off the site, which occur as a result of his prosecution. Codes shall be observed and the contractor shall take or cause to be taken such additional safety and health measures as the Community Development Department may determine to be reasonably necessary. Machinery, equipment, and all hazards shall be awarded in accordance with safety provisions of the "Manual of Accident Prevention in Construction" published by the Associated General Contractors of America, Inc., to the extent that such provisions are not in conflict with applicable local laws.
44. Upon request by the City, the successful bidder may be required to furnish additional information on material(s) and/or product(s) bid for evaluation purposes.
45. One copy of the Parts Manual, Service Manual, Operator's Manual and/or Warranty for all products and materials installed shall be given to the Property Owner by the Contractor once the work is complete.
46. The Contractor and Owner will agree that should any dispute arise concerning the work performed under the Contract Agreement, payment, or warranty, the parties agree to submit the dispute to the Community Development Office for a resolution in accordance with Article XVI of the HOME Rehab Program Policy Guidelines and such determination will be final and without recourse.
47. Debarment: All work performed will be guaranteed by the Contractor for a period of one (1) year following Final Payment. Any Contractor who continually fails to correct valid homeowner complaints within this period or any Contractor found in Default of a Contract will be notified by certified mail that he has been debarred and no further proposals will be accepted from him for a period of two (2) years following debarment.
48. The Contractor by the execution of the Contract shall in no way be relieved of any obligation under it due to his failure to receive or examine any form of legal instrument or to visit the site and acquaint himself with the conditions there existing and Community Development will be justified in rejecting any claims based on "Conditions", latent or otherwise.
49. The Contractor shall be advised that no member or Delegate to the Congress of the United States, and no Resident Commissioner, shall be admitted to any share or part of any possible bid award or to any benefit to arise from the same.
50. The Contractor shall be advised that no member, officer, or employee of the Local Public Body, or its designees or agents, non-member of the governing body of the locality in which the (Program, Project, or Similar) is situated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the (Program, Project or Similar) during their tenure or for one year thereafter, shall have any interest, direct or indirect, in any Contract or Sub-Contract, or the proceeds thereof, for work to be performed in connection with the (Program, Project, etc).



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HOME Major Rehab Program Bid Packet – Contractor’s Bid Proposal Price Sheet

The undersigned offers to complete the HOME Rehab Program of the following residences at the bid price stated for EACH, individual housing unit listed on this sheet. The houses herein offered for repair will be awarded to the lowest most responsive responsible bidder. The city reserves the right to reject any and all proposals.

#	MPN Project #	Address	Property Owner	Contact Number	Contractor’s Total Bid Price per structure	Property Owner’s Initials for Acceptance of Bid Price after Bid Opening
1	12935	3117 CHICAGO LOOP	SHELIA JACOBS	3187900027		
2	12940	2921 POPLAR ST	HAZEL WOODS	3184480990 3187307996		
3	12942	6312 DEERFIELD DR	IDA SURGENT	3187043650 3184167911		
4	12950	3941 SUGARHOUSE	PATSY GIBSON	3187922821		
ITEMIZE PRICE FOR EACH PROPERTY LISTED ABOVE						

- Proposals must be submitted on this Bid Proposal Price Sheet (Attachment #3). Proposals submitted in any other form will be considered non-responsive and will be rejected.
- No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
- All bid prices shall include any and all material, labor, equipment, tax and freight charges.
- Bid Proposal Price Sheets without completed signature /company information will automatically be rejected. All information must be completed in ink. Signature must be hand-written. Electronic or stamped signatures will be rejected. All information requested below must be in print, with the exception of the Authorized Signature.
- The Contractor is responsible for contacting each Homeowner to schedule an appointment to estimate their bid proposal. The Contractor is also responsible to review the scope of work and pictures provided, the bid conditions and general conditions disclosures. By signing this form, the Contractor accepts responsibility for the extent and character of work to be performed.

COMPANY NAME _____ DATE _____

STREET ADDRESS _____ P O BOX _____

CITY _____ STATE _____ ZIP _____

TELEPHONE NUMBER _____ DUNS NUMBER _____

AUTHORIZED SIGNATURE: _____



Jacques M. Roy
Mayor

Case Number: CD-12935
Address: 3117 CHICAGO LOOP

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle, and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant; 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Rustic Black shall be the standard color selection or equal. Contractor shall be responsible to verify the number of layers of existing roofing to be removed in the bid price submitted. No change orders for unforeseen layers will be allowed.	1 layer	
Repair all spot leaks in existing roof and/or deteriorated decking material. This may require replacement of a minimum 7/16" osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining existing shingles as much as possible. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Replacement of decking shall be included in bid price submitted. No change orders to replace unforeseen damaged decking will be allowed.	4 areas visible: 1- 4x4 2 -4x6 1 -2x2	
Replace all deteriorated rafter tails. New material to be #2 grade or better.		
Install 20in ridge vent	2	
Remove and/or install complete new lead roof jacks and waterproof.	3	
Replace damaged existing soffit and/or fascia with like materials or perforated hardiboard soffit panels.		
Install 8in x 16in undereave soffit vents on house every 4 foot on center. All vents to be screened on interior side. Vent color shall be white. If the soffit is narrow, use appropriate smaller size to ensure fit.	1	
Insulate attic with R-30 value blown insulation. Contractor to be responsible for attic access for sub- contractor. Care shall be exercised to provide 6in clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Remove deteriorated porch column(s) and replace with new #2 grade treated lumber or prefinished fiberglass / composite decorative column(s). Replacement column style shall match any columns that are structurally sound to remain. In the event that the same style for new cannot be matched to existing, all columns shall be replaced with new one uniform style.	Carport area-2	
Remove existing and replace with new aluminum threshold(s) with weatherstripping on exterior door(s). New weather-stripping shall be approximately 3/4in width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.	Front and carport doors 3	
Replace and/or rescreen existing damaged screens with new aluminum screens on applicable exterior windows (including those that may be located on a screened in porch) except for those windows containing air conditioners. Screen frames, channels and hooks shall also be aluminum. NO nails may be used to hold screens in place.	1-22x44 1-34x44	

3117 Chicago Loop (continued)

Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.		
Label all circuits on panel box, both new and old, with identification data for its function and location.		
Install new Builders grade fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.		
Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.		
Install new wall switches and ceiling lights in the living room, the dining room, the bathroom and each bedroom in the house.	Master bdrm, bathrm	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	Kitchen-2, bath-1	
Install hard wired combination smoke and carbon monoxide detector in each sleeping room, outside of a sleeping area and on each habitable story. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wires and have battery back-up.	Hall	
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Replace all leaking or deficient faucets and drains, replace with new Builder grade equivalent.	Kitchen	
Replace all leaking or deficient traps, wastes, and valves, replace with new Builders grade equivalent.	Kitchen	
Remove existing toilet and replace with new standard white grade Builders grade handicap toilet and seat in bathroom. New toilet to have new bowl wax and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet.	1 bath	
Install washing machine incatch a dripin drain in wall with hot and cold water supply.		
Repair existing central heating and cooling system to operable working condition. This could include thermostat, plenum, compressor, duct work, etc. Licensed Mechanical Contractor to determine repairs necessary.	A/c works, heat doesn't	
Install 22in x 30in attic access scuttle hole or larger, enough to allow passage for the largest appliance located in the attic. Install 1in x 4in pine trim and 3/4in plywood to cover opening. Paint opening cover. Weather strip and insulate scuttle hole cover.	22"x30" easily accessible	
Remove existing ceiling tile. Reframe and strip as necessary. Install new 1/2 inch minimum sheetrock. Ceiling to be level with no visible sag.		
Install new wood interior solid core door unit & trim. Door, frame and jam to be painted / stained. On all newly installed doors, all hinges, screws, locks and trim to be new. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Door(s) shall remain in manufacturer's primed finish. Contractor is to call for a Header Inspection when the old entry door unit(s) are removed. After inspection is made, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required prior to hanging the new door. Door hardware color choice shall be chrome or brass.	2'6" lh, 2'6" lh	
Replace all interior door locksets with Builders grade equivalent. Use privacy locksets on bedroom and bathroom doors. Use passage locksets on	1st bdrm	

3117 Chicago Loop (continued)

<p>closets. Door hardware color choice shall be chrome or brass.</p>		
<p>Remove existing countertop material and impacted fixtures and appliances. Install new preformed laminate countertop, bullnosed with 3 1/2in rolled backsplash. Sidesplashes shall also be installed of matching material on countertop sides that kill into a wall. Countertop to be seamless and securely glued and screwed (on bottom side) tight to base cabinet. Applicant shall have a choice of 4 standard countertops.</p>		
<p>Remove existing cabinets. Replace with new prefinished wood 32in (bathrooms) or 36in (kitchens) base cabinets with 30in upper wall cabinets and trim. Cabinets to be plumb, level with tight fit. No portion of cabinet to be of particle board. At minimum of one base cabinet shall be a drawer bank. Cabinets doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.</p>	<p>Base cabs rotten due to leak under kitchen sink 10' base 6' upper</p>	
<p>Install 1/8" plywood over existing wall above countertop backsplash up to underside of upper wall cabinets and install / overlay with new laminate. Applicant shall have a choice of 4 standard countertops.</p>		
<p>Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturer's specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>		
<p>Repaint / restrain all molding, casing & trim to match existing walls to match existing trim. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturer's specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>		
<p>Sheet over existing floor with minimum 3/8in B/C plywood. Flash patch all cracks at joints. Install sheet vinyl, securely glued and all appropriate thresholds, carpet bars and finished shoe mold. Applicant shall have a choice of 4 standard patterns for sheet vinyl. Replace with new shoe mould and paint.</p>	<p>Entire house</p>	
	<p>TOTAL \$</p>	

Project Number: **CD-12935**
Address: **3117 CHICAGO LOOP**
Inspection Date: **6/8/2017**



6/16/2017 8:16:37 AM



6/16/2017 8:16:35 AM



6/16/2017 8:16:44 AM



6/16/2017 8:16:40 AM

Project Number: **CD-12935**
Address: **3117 CHICAGO LOOP**
Inspection Date: **6/8/2017**



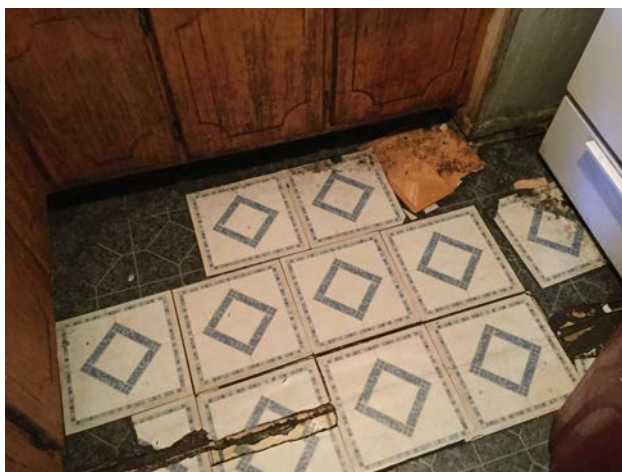
6/16/2017 8:16:52 AM



6/16/2017 8:16:48 AM



6/16/2017 8:19:19 AM



6/16/2017 8:16:52 AM

Project Number: **CD-12935**
Address: **3117 CHICAGO LOOP**
Inspection Date: **6/8/2017**



6/16/2017 8:21:02 AM

6/16/2017 8:19:29 AM



6/16/2017 8:21:11 AM

6/16/2017 8:21:09 AM

Case Number: CD-12940

Address: 2921 POPLAR

Question	Comment	Amount
Remove existing roof assembly, regardless of galvanized or shingle, and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Rustic Black shall be the standard color selection or equal. Contractor shall be responsible to verify the number of layers of existing roofing to be removed in the bid price submitted. No change orders for unforeseen layers will be allowed.		
Repair all spot leaks in existing roof and/or deteriorated decking material. This may require replacement of a minimum 7/16" osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining existing shingles as much as possible. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Replacement of decking shall be included in bid price submitted. No change orders to replace unforeseen damaged decking will be allowed.	Rotten roof decking- 3+-	
Remove and/or install complete new lead roof jacks and waterproof.	3	
Replace damaged existing soffit and/or fascia with like materials or perforated hardiboard soffit panels.		
Insulate attic with R-30 value blown insulation. Contractor to be responsible for attic access for sub- contractor. Care shall be exercised to provide 6in clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Install new Builders grade aluminum exterior storm door, mill finish. Doors to have a standard kick plate, pneumatic closer and aluminum or fiberglass screen. Make all necessary adjustments to frame. Irregular door sizes shall be custom made to insure proper fit in existing door frames.		
Install new 3ft-0in x 6ft-8in minimum metal factory pre-hung exterior door unit with 1in x 4in o/s trim. Door unit to have built in weather stripping and threshold. All hinges, screws, passage lockset and trim to be new. Door to be flush and plumb with walls.		
Replace and/or rescreen existing damaged screens with new aluminum screens on applicable exterior windows (including those that may be located on a screened in porch) except for those windows containing air conditioners. Screen frames, channels and hooks shall also be aluminum. NO nails may be used to hold screens in place.		
Paint all wood exterior surfaces of residence, to include walls, porch, soffits, fascia, windows, exterior door frames. NO exterior painting shall be done unless the temperature is at least 50 degrees F. This temperature shall be maintained until paint is dry. NO painting shall be done when the surfaces are damp, or during cold, rainy or frost		

2921 Poplar Street (continued)

<p>weather. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All surfaces shall be smooth and clean prior to painting. All wood shall receive enough coats to provide adequate coverage but no less than two (2) coats. Paint shall be mixed and applied in accordance with manufacturers specifications. Products shall be applied at full strength with no thinning. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer’s specifications. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
<p>Paint wood trim of exterior of house to include soffits, fascia, exterior window & door frames. NO painting shall be done when the surfaces are damp, or during cold, rainy or frost weather. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All surfaces shall be smooth and clean prior to painting. All wood shall receive enough coats to provide adequate coverage but no less than two (2) coats. Paint shall be mixed and applied in accordance with manufacturers specifications. Products shall be applied at full strength with no thinning. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer’s specifications. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
<p>Paint any newly installed soffit and fascia hardiboard panel’s exterior of house. NO painting shall be done when the surfaces are damp, or during cold, rainy or frost weather. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All surfaces shall be smooth and clean prior to painting. All wood shall receive enough coats to provide adequate coverage but no less than two (2) coats. Paint shall be mixed and applied in accordance with manufacturers specifications. Products shall be applied at full strength with no thinning. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer’s specifications. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>		
<p>Caulk and seal all openings in exterior walls leading to the interior of the house. This includes holes for drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. Caulking to be installed in such a manner as to be permanent and prevent air infiltration.</p>	Windows and doors	
<p>Install new Builders grade fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.</p>	2	
<p>Install new Builders grade exterior porch light fixture. All fixtures to be controlled by inside switches.</p>	Front and garage	
<p>Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.</p>	Kitchen-2, 1st bath- 1,2nd bath-1	

2921 Poplar Street (continued)

Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
	TOTAL	\$

Project Number: **CD-12940**
Address: **2921 POPLAR**
Inspection Date: **6/12/2017**



6/16/2017 8:28:57 AM



6/16/2017 8:28:55 AM



6/16/2017 8:29:02 AM



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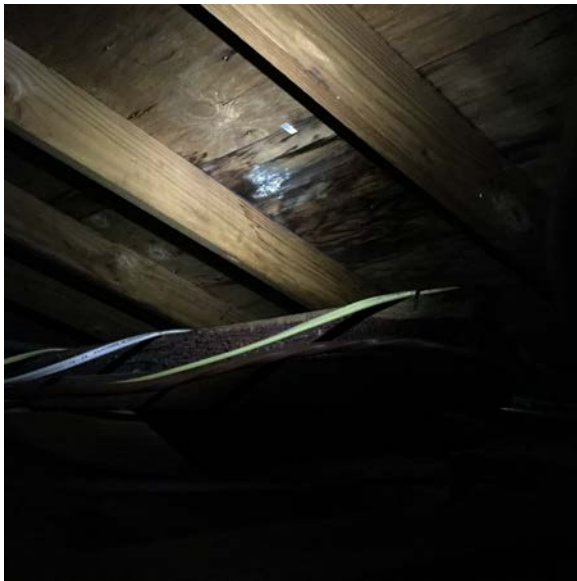
Project Number: **CD-12940**
Address: **2921 POPLAR**
Inspection Date: **6/12/2017**



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6/16/2017 8:36:34 AM



6/16/2017 8:36:31 AM

Project Number: **CD-12940**
Address: **2921 POPLAR**
Inspection Date: **6/12/2017**



6/16/2017 8:37:34 AM

6/16/2017 8:37:33 AM



6/16/2017 8:37:39 AM

Case Number: CD-12942
Address: 6312 DEERFIELD

Question	Comment	Amount
Remove and/or install 12in exterior turbine vents on roof in standard mill finish.	60 foot ridge vent	
Replace damaged existing soffit and/or fascia with like materials or perforated hardiboard soffit panels.	Refer to pictures	
Install new Builders grade aluminum exterior storm door, mill finish. Doors to have a standard kickplate, pneumatic closer and aluminum or fiberglass screen. Make all necessary adjustments to frame. Irregular door sizes shall be custom made to insure proper fit in existing door frames.	Replace 2 storm doors	
Remove existing exterior door units, replace with new Builders grade metal factory pre-hung exterior door unit(s) with 1inx 4in o/s trim. Door unit to remain factory unfinished. Door unit(s) are to have built in weather-stripping and threshold(s). Install peep hole in new door(s). Level of peephole to be determined by applicants height and installed accordingly. Install new Builders grade entry knob hardware with deadbolt lock(s) on door(s). Door hardware color choice shall be chrome or brass. Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. On all newly installed exterior doors, all hinges, screws, locks and trim to be new. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Contractor is to call for a Header Inspection for doors when the old unit(s) is removed. After inspection is made, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required prior to hanging the new unit.	36" LH I side	
Remove existing exterior door hardware and replace with new Builders grade entry knob hardware and deadbolt lock. Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. Bore hole for deadbolt, if one does not currently exist.	Storage room exterior	
Remove existing damaged windows and framing to repair or replace with new. The window shall be a complete unit assembly in mill finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with single paned aluminum windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new 1/2in screens on all windows. Irregular size units shall be custom made to fit properly. Contractor is to call for a Header Inspection for doors or windows when the old unit(s) is removed. After inspection is made, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required prior to hanging the new unit.	All windows	
Replace and/or rescreen existing damaged screens with new aluminum screens on applicable exterior windows (including those that may be located on a screened in porch) except for those windows containing air conditioners. Screen frames, channels and hooks shall also be aluminum. NO nails may be used to hold screens in place.		
Paint any newly installed soffit and fascia hardiboard panels exterior of house. NO painting shall be done when the surfaces are damp, or during cold, rainy or frost weather. Previously painted wood shall be		

6312 Deerfield Drive (continued)

thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All surfaces shall be smooth and clean prior to painting. All wood shall receive enough coats to provide adequate coverage but no less than two (2) coats. Paint shall be mixed and applied in accordance with manufacturers specifications. Products shall be applied at full strength with no thinning. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.		
Caulk and seal all openings in exterior walls leading to the interior of the house. This includes holes for drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. Caulking to be installed in such a manner as to be permanent and prevent air infiltration.	Windows and doors	
Eliminate all pull-chain type lights in bathroom and kitchen. Replace with wall switch and new fixture in each location.	Kitchen, bedroom 2,	
Install new Builders grade fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.	Both bathrooms	
Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.	Kitchen 2	
Install hard wired combination smoke and carbon monoxide detector in each sleeping room, outside of a sleeping area and on each habitable story. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wires and have battery back-up.	Hallway	
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Remove existing toilet and replace with new standard white grade Builders grade handicap toilet and seat in bathroom. New toilet to have new bowl wax and sealing compound. New toilet shall be standard white and have individual toilet supply cut off valve. New seat shall be of plastic matching color of toilet.	Master bathroom	
Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard white prefabricated fiberglass tub/shower combination, complete with brass waste and tub faucet. Tub/shower combination faucet to be of metal bodied with brass valves, using neoprene washers. Seats to be removable. Shower arm shall be equipped with 2 1/2in gallon per minute flow restrictor, and shower heat. Faucet finish to be brass or chrome.	Both bathrooms	
Remove existing tub faucet and replace with new Builders grade tub faucet. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.	Faucet bathroom 1	
Install washing machine incatch a dripin drain in wall with hot and cold water supply.		
Install 22in x 30in attic access scuttle hole or larger, enough to allow passage for the largest appliance located in the attic. Install 1in x 4in pine trim and 3/4in plywood to cover opening. Paint opening cover.	Unable to access in closet with shelf	

6312 Deerfield Drive (continued)

Weather strip and insulate scuttle hole cover.		
Remove, replace and/or repair all broken, cracked, or deficient sheetrock in walls and ceilings. Feather all edges. Texture sheetrock to match adjacent finish.	Laundry behind washing machine, bathroom 1	
Install standard Builders grade white vinyl tub surround kit around bathtub area. Vinyl to be glued minimum 3/8in plywood securely glued and encased in cap molding. Use NO nails in tileboard.	Both bathrooms if not able to repair	
Paint any newly hung sheetrock in areas that have physical damage such as holes and severe water stains. Sheetrock shall be 1/2" thick minimum or match existing sheetrock thickness for smooth transition. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.		
Sheet over existing floor with minimum 3/8in B/C plywood. Flash patch all cracks at joints. Install sheet vinyl, securely glued and all appropriate thresholds, carpet bars and finished shoe mold. Applicant shall have a choice of 4 standard patterns for sheet vinyl. Replace with new shoe mould and paint.	Hallway, laundry, master bath and closet	
		TOTAL \$

Project Number: **CD-12942**
Address: **6312 DEERFIELD**
Inspection Date: **6/12/2017**



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Project Number: **CD-12942**
Address: **6312 DEERFIELD**
Inspection Date: **6/12/2017**



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Project Number: **CD-12942**
Address: **6312 DEERFIELD**
Inspection Date: **6/12/2017**



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Case Number: CD-12950
Address: 3941 SUGAR HOUSE

Question	Comment	Amount
<p>Remove existing roof assembly, regardless of galvanized or shingle, and replace with new 3 tab shingle roof. For the purpose of this document, the new roof assembly shall consist of 15# felt, continuous ridge vent, shingle laced valleys, new flashing and roof jacks. Remove all roofing debris from jobsite. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Rustic Black shall be the standard color selection or equal. Contractor shall be responsible to verify the number of layers of existing roofing to be removed in the bid price submitted. No change orders for unforeseen layers will be allowed.</p>		
<p>Repair all spot leaks in existing roof and/or deteriorated decking material. This may require replacement of a minimum 7/16" osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining existing shingles as much as possible. Contractor shall be responsible to walk the roof to try to locate soft decking spots that will need to be replaced and tour the inside of the house and attic to determine deteriorated decking and/or water damage spots. Replacement of decking shall be included in bid price submitted. No change orders to replace unforeseen damaged decking will be allowed.</p>		
<p>Remove swag from roof and level. Replace all broken, rotten or deficient rafters, decking, felt and shingles as necessary to correct the roof swag. Reframe as necessary. Replacement materials shall be minimum 7/16" osb decking, 15# felt and 25 year shingles. New shingle specification shall be 25 year, asphalt, algae resistant, 100 mph wind resistance, Class A UL Fire Rating, 3 tab shingle, Tamko Brand or equal. Color to match remaining shingles as much as possible. Contractor shall be responsible to determine all framing and materials necessary to complete repair and include pricing in bid submittal. No change orders to replace unforeseen materials will be allowed.</p>		
<p>Insulate attic with R-30 value blown insulation. Contractor to be responsible for attic access for sub- contractor. Care shall be exercised to provide 6in clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.</p>		
<p>Install new Builders grade aluminum exterior storm door, mill finish. Doors to have a standard kickplate, pneumatic closer and aluminum or fiberglass screen. Make all necessary adjustments to frame. Irregular door sizes shall be custom made to insure proper fit in existing door frames.</p>	Front and back	
<p>Install new pre-cast reinforced concrete steps with 3ft minimum landing at exterior side of residence. Any steps over 3 risers high or 30in whichever is greater shall have metal handrail, secured at base in cement, on one side of steps. Handrail to be placed on door latch side of exterior door.</p>	Front and back	
<p>Remove existing damaged windows and framing to repair or replace with new. The window shall be a complete unit assembly in mill finish. Replace damaged framing lumber with new #2 or better grade lumber. Replace with single paned aluminum windows, factory weatherstripped with full locking capabilities. Caulk around frames with acrylic latex caulking to prevent any air infiltration. Include new 1/2in screens on all</p>	Kitchen 3'x3'	

3941 Sugarhouse Road (continued)

<p>windows. Irregular size units shall be custom made to fit properly. Contractor is to call for a Header Inspection for doors or windows when the old unit(s) is removed. After inspection is made, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required prior to hanging the new unit.</p>		
<p>Replace all broken window panes with new plexiglass of .093 inch minimum thickness.</p>	Bedroom #1	
<p>Replace and/or rescreen existing damaged screens with new aluminum screens on applicable exterior windows (including those that may be located on a screened in porch) except for those windows containing air conditioners. Screen frames, channels and hooks shall also be aluminum. NO nails may be used to hold screens in place.</p>		
<p>Paint all wood exterior surfaces of residence, to include walls, porch, soffits, fascia, windows, exterior door frames. NO exterior painting shall be done unless the temperature is at least 50 degrees F. This temperature shall be maintained until paint is dry. NO painting shall be done when the surfaces are damp, or during cold, rainy or frost weather. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All surfaces shall be smooth and clean prior to painting. All wood shall receive enough coats to provide adequate coverage but no less than two (2) coats. Paint shall be mixed and applied in accordance with manufacturers specifications. Products shall be applied at full strength with no thinning. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications. Contractor shall be responsible for all necessary cutting or pruning exterior landscaping to give adequate clearance for painting.</p>	Back	
<p>Caulk and seal all openings in exterior walls leading to the interior of the house. This includes holes for drainage lines, water supply lines, cracks and holes, telephone, electrical and cable T.V. lines. Caulking to be installed in such a manner as to be permanent and prevent air infiltration.</p>	windows and doors	
<p>Rebuild electric service to 200 amps (if the house is all electric). New service shall include new copper ground rod.</p>		
<p>Update existing breaker and fuse boxes as needed. A minimum of 2 blanks shall be left on panel box after all circuits are run.</p>		
<p>Label all circuits on panel box, both new and old, with identification data for its function and location.</p>		
<p>Install new Builders grade fan forced electrical heat/vent/light ceiling heater in bathroom with new switch. Fixture to be on new separate circuit.</p>	Bathroom	
<p>Split up existing circuits in the entire house to all duplex receptacles, especially for appliances (such as refrigerator, freezer, microwave and washer) and to overhead lights to prevent any circuit from being overloaded.</p>		
<p>Ensure a minimum of one circuit with a minimum of 1 duplex receptacle is compliant in the living room, the dining room, the bathroom and each bedroom in the house. Add new circuits as necessary.</p>		
<p>Install new separate 110V circuit with duplex receptacle in bathroom and kitchen. New circuit to be on ground fault interrupter.</p>	Kitchen-2, Bath-one exists, just need to remount recep box	

3941 Sugarhouse Road (continued)

<p>Install hard wired combination smoke and carbon monoxide detector in each sleeping room, outside of a sleeping area and on each habitable story. When more than one smoke alarm is required, the alarm devices shall be interconnected, be hard-wires and have battery back-up.</p>	<p>Hallway</p>	
<p>Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.</p>		
<p>Remove existing tub, faucet and drain assembly, replace with new Builders grade one piece standard white prefabricated fiberglass tub/shower combination, complete with brass waste and tub faucet. Tub/shower combination faucet to be of metal bodied with brass valves, using neoprene washers. Seats to be removable. Shower arm shall be equipped with 2 1/2in gallon per minute flow restrictor, and shower heat. Faucet finish to be brass or chrome.</p>		
<p>Remove existing tub faucet and replace with new Builders grade tub faucet. New faucet to be of cast metal construction, brass valve stems with replaceable neopryne washers and removable seats. Faucet finish to be brass or chrome.</p>		
<p>Install washing machine incatch a dripin drain in wall with hot and cold water supply.</p>		
<p>Install new 40 gallon electric water heater. Water heater to inlet cut off valves. Rheem inEnergy Miserin or agency approved equal.</p>		
<p>Install new Builders grade central heating and cooling system of adequate tonnage to service the interior volume of the structure. Unit shall be all electric. Install programmable wall mounted thermostat. Return air vent to be installed as practicable for proper function of the unit. Install as per International Residential code. Licensed Mechanical Contractor shall make installations and be responsible for warranty.</p>	<p>remove existing furnace in attic and replace with central air and heat unit</p>	
<p>Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.</p>		
<p>Install 22in x 30in attic access scuttle hole or larger, enough to allow passage for the largest appliance located in the attic. Install 1in x 4in pine trim and 3/4in plywood to cover opening. Paint opening cover. Weather strip and insulate scuttle hole cover.</p>	<p>replace attice stairway</p>	
<p>Install new wood interior solid core door unit & trim. Door, frame and jam to be painted / stained. On all newly installed doors, all hinges, screws, locks and trim to be new. Doors are to be flush, plumb and balanced with existing walls. Make all necessary adjustments to frame and/or walls and replace frames to ensure adequate, proper and secure fit. Door(s) shall remain in manufacturer's primed finish. Contractor is to call for a Header Inspection when the old entry door unit(s) are removed. After inspection is made, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required prior to hanging the new door. Door hardware color choice shall be chrome or brass.</p>	<p>2- 2'6" LH int (Bath 1, Bedroom 2), 2'0" LH bedrm closet, 6'0" Bifold bedroom 2</p>	
<p>Replace all interior door locksets with Builders grade equivalent. Use privacy locksets on bedroom and bathroom doors. Use passage locksets on closets. Door hardware color choice shall be chrome or brass.</p>	<p>4 doors (3 privacy, 1 passage, 1 set of dummies</p>	
<p>Remove existing cabinets. Replace with new prefinished wood 32in</p>	<p>repair upper cabinets in</p>	

3941 Sugarhouse Road (continued)

<p>(bathrooms) or 36in (kitchens) base cabinets with 30in upper wall cabinets and trim. Cabinets to be plumb, level with tight fit. No portion of cabinet to be of partical board. At minimum of one base cabinet shall be a drawer bank. Cabinets doors shall be made in such a manner to not require cabinet pull hardware. Applicant shall have a choice of 1 color prefinished stained cabinets or 1 standard white laminated prefinished cabinets.</p>	<p>kitchen- remount</p>	
<p>Repaint ceiling. Fill all holes and sand. First coat shall be KILZ paint product or equal if smoke or water damage is evident. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>	<p>roof leaks throughout</p>	
<p>Paint any newly hung sheetrock in areas that have physical damage such as holes and severe water stains. Sheetrock shall be 1/2" thick minimum or match existing sheetrock thickness for smooth transition. All surfaces shall be smooth and clean prior to painting. Previously painted wood shall be thoroughly cleansed of peeling, blistered or crazed paint, dust, dirt, grease and all other foreign matter. Sanding, wire brushing, scraping and washing are acceptable methods of cleaning. All painting and/or staining shall have a minimum of two coats. Paint to be mixed and applied in accordance with manufacturers specifications to produce good coverage and appearance. Inspection required after cleaning and prior to application of first coat; final inspection required after finish coat. Four hours drying period shall be allowed between coats or per manufacturer's specifications.</p>	<p>Bathroom</p>	
<p>Sheet over existing floor with minimum 3/8in B/C plywood. Flash patch all cracks at joints. Install sheet vinyl, securely glued and all appropriate thresholds, carpet bars and finished shoe mold. Applicant shall have a choice of 4 standard patterns for sheet vinyl. Replace with new shoe mould and paint.</p>	<p>entire house</p>	
	<p>TOTAL \$</p>	

Project Number: **CD-12950**
Address: **3941 SUGAR HOUSE**
Inspection Date: **6/26/2017**



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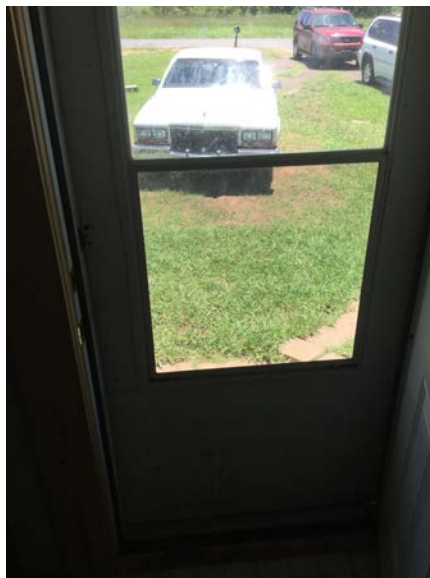


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Project Number: **CD-12950**
Address: **3941 SUGAR HOUSE**
Inspection Date: **6/26/2017**



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Project Number: **CD-12950**
Address: **3941 SUGAR HOUSE**
Inspection Date: **6/26/2017**



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City of Alexandria
 Community Development Department
 Attn: Rehab Program Manager
 625 Murray Street, 3rd Floor
 Alexandria, LA 71301

CmDv CDBG HOUSING MINOR REHAB BID PACKET

BIDS DUE BY:
~~SEPTEMBER 7, 2017~~
SEPTEMBER 8, 2017
9:00 A.M.

CmDv #1711 – CDBG CARPENTRY

Attachment #1	Submittal Conditions
Attachment #2	General Conditions
Attachment #3	Contractor's Bid Proposal Price Sheet - Itemize price for each structure - Complete, sign, return in sealed Bid Proposal packet
Attachment #4	Scopes of Work and Photos - Carpentry work descriptions for 7 addresses



Jacques M. Roy
 Mayor



City of Alexandria
Community Development Department
Attn: Rehab Program Manager
625 Murray Street, 3rd Floor
Alexandria, LA 71301

Cmdv CDBG Housing Rehab Bid Packet - Submittal Conditions

BID SUBMITTAL DEADLINE / BID OPENING: 9am Friday, September 2, 2017

ATTENTION: *Qualified Contractors*

Please find attached the discipline specific **BID SCOPES OF WORK** (Attachment #4) described in each package. All sealed bid proposals must be delivered to the address in the letterhead above by the deadline specified.

The SEALED bid package must bear your Community Development issued **Qualified Contractor ID#** on the OUTSIDE FRONT of the envelope. Packages without this information will immediately be rejected and unopened. No email, faxed or call-in bids will be accepted.

Inside the bid proposal package submitted, shall include the signed Bid Proposal Price sheet(s) (Attachment #3). All bids shall be signed by hand and in ink by an authorized company representative per LA R.S. 38:2212.A.1.c.i. This sheet must include a total price for each houses listed. The following information is required on EACH bid proposal sheet submitted: Company Name, Date, Street Address, Mailing Address, Telephone Number, DUNS Number and Contractor Authorized Signature. Any proposal without this information will immediately be rejected. You are not required to submit the individual work description or picture pages of each bid packet grouping. If you have questions about the submittal of documentation, contact the Rehab Program Manager at (318) 449-5074.

Bidders are responsible to read all Attachments 1-4. The terms applicable to the bid award and contract are defined and may affect bid proposal pricing.

The Contractor or their authorized representative may elect to contact the Property Owner directly to schedule a time to review the scope of work described in the bid packet. The City Inspector does not have to accompany you to visit the house. However, keep in mind that the scope of work is limited to the bid specification provided in the packet. The Property Owner has no authority to alter the scope. The scope of work includes pictures taken by the City Inspector to assist in the description of work. If you have questions concerning the scope of work description, contact the City Inspector at (318) 449-5069.

All bidders will be provided with a Bid Tabulation result sheet within 10 calendar days after the bid opening. Awarded contracts will be fully executed within thirty (30) calendar days of the bid tabulation. The date and time will be scheduled by the Rehab Program Manager and you will be notified.

We appreciate your interest in working with Community Development on this Federally funded program to improve the housing standards in our community!



Jacques M. Roy
Mayor



City of Alexandria
 Community Development Department
 Attn: Rehab Program Manager
 625 Murray Street, 3rd Floor
 Alexandria, LA 71301

CmDv Housing Minor Rehab Bid Packet - Contractor's Bid Proposal Price Sheet

The undersigned offers to complete the CDBG Housing Rehab of the following residences at the payment price stated for EACH housing unit listed on this sheet. The buildings herein offered for repair will be awarded to the lowest most responsive responsible bidder. The city reserves the right to reject any and all proposals.

#	MPN Project #	Address	Property Owner	Phone #	Itemized Price per structure	Owner's Initials for Acceptance of Bid Price
1	12909	618 APPLEWHITE	ALTONETTE HAWKINS	318.443.1611		
2	12937	4411 3 RD	DEBORAH DAVIS	318.787.5950		
3	12936	4915 EAST SANDY BAYOU	LILLIE HELAIRE	318.445.1937		
4	12941	3228 BELWOOD	SHIRLEY DEAL	318.487.4937		
5	12947	2903 ELLBEE DR	LISA NEAL	318.609.0101		
6	12951	3005 DOE RUN	KATHIE GRANVEL	318.787.1663		
7	12984	2404 MADELINE ST	THERESA HAMPTON	318.419.5989		
CARPENTRY - ITEMIZE PRICE FOR EACH PROPERTIES LISTED ABOVE						

- Proposals must be submitted on this Bid Proposal Price Sheet (Attachment #3). Submitted in any other form will be considered non-responsive and will be rejected.
- No bid may be withdrawn for at least thirty (30) days after the scheduled closing time for the receipt of bids. Any awarded proposals shall remain in effect for a period of ninety (90) calendar days beginning on the date of award notice.
- All bid prices shall include any and all material, labor, equipment, tax and freight charges.
- Bid Proposal Price Sheets without completed signature /company information will automatically be rejected. All information must be completed in ink. Signature must be hand-written. Electronic or stamped signatures will be rejected. All information requested below must be in print, with the exception of the Authorized Signature.
- The Contractor is responsible for contacting each Homeowner to schedule an appointment to estimate their bid proposal. The Contractor is also responsible to review the scope of work and pictures, the submittal conditions and general conditions disclosures. By signing this form, the Contractor accepts responsibility for the extent and character of work to be performed.

COMPANY NAME _____ DATE _____

STREET ADDRESS _____ P O BOX _____

CITY _____ STATE _____ ZIP _____

TELEPHONE NUMBER _____ DUNS NUMBER _____

AUTHORIZED SIGNATURE: _____



Jacques M. Roy
 Mayor

Case Number: CD-12909
Address: 618 APPLEWHITE

Question	Comment	Amount
Install new / remove and replace siding . Use only treated lumber.	rotten siding on front porch	
Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.	replace/repair attic staircase,weatherstrip and insulate	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12909**
Address: **618 APPLEWHITE**
Inspection Date: **6/7/2017**



6/7/2017 2:17:30 PM



6/7/2017 2:17:14 PM



6/7/2017 2:17:39 PM

Case Number: CD-12937

Address: 4411 3rd

Question	Comment	Amount
Install new 24" chrome plated grab bar in bathroom, located near tub. Firmly secure by minimum 1 1/4" screws to studs or 2" x 6" blocking. Mount bar at a 45° angle.		
Rehang existing exterior door(s) in such a manner as to insure proper, plumb and secure fit. Make any and all necessary adjustments to frame and walls to insure proper fit. Replace door casing(s) and jamb. Lead test required.	front, replace ext trim on sliding glass door on back	
Caulk all exterior sides of windows and doors.		
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.	Replace attic staircase	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12937**
Address: **4411 3rd**
Inspection Date: **6/8/2017**



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6/8/2017 4:56:44 PM

Case Number: CD-12936
Address: 4915 E. Sandy Bayou

Question	Comment	Amount
Remove existing deteriorated window frame unit. Remove existing rotten lumber around window unit and replace with new #2 or better grade lumber. Replace with single paned aluminum window, factory weather-stripped with full locking capabilities. Caulk around frame with acrylic latex caulking to prevent any air infiltration. Include new 1/2" screen on window. Lead test required.	bedroom 1	
Remove existing exterior door hardware and replace with new entry knob hardware and deadbolt lock. Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. Bore hole for deadbolt, if one does not currently exist.	front door	
Rehang existing exterior door(s) in such a manner as to insure proper, plumb and secure fit. Make any and all necessary adjustments to frame and walls to insure proper fit. Replace door casing(s) and jamb. Lead test required.	front	
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12936**
Address: **4915 E. Sandy Bayou**
Inspection Date: **6/20/2017**



6/20/2017 7:51:05 AM



6/20/2017 7:50:45 AM

Case Number: CD-12941
Address: 3228 BELWOOD

Question	Comment	Amount
<p>Install vinyl tub surround kit around bathtub area. Vinyl shall be securely glued to minimum 3/8" plywood and cased with cap moulding. Do not use nails in tileboard.</p>	<p>1st bath</p>	
<p>Install mill finish storm windows on all exterior windows. Storm windows to be factory weather-stripped, capable of being securely locked and equipped with aluminum or vinyl screen. Frames shall be well caulked to insure minimum air infiltration. Irregular sizes shall be custom made to insure adequate and secure fit. *Excluding windows with A/C units.</p>	<p>back door</p>	
<p>Remove existing exterior door units, replace with new metal factory hung exterior door unit(s) with 1"x 4" o/s trim. Door unit(s) are to have built-in weather-stripping and threshold(s). All hinges, screws, locks and trim to be new. Doors are to be flush and plumb with existing walls. Make all necessary adjustments to frame and walls or rebuild walls and replace frames to insure adequate, proper and secure fit. Door(s) shall remain in manufacturer's primed finish. Install peep-hole in new door (s). Level of peephole to be determined by applicants height and installed accordingly. Install new entry knob hardware with deadbolt lock(s) on door(s). Deadbolt lock(s) to be keyed on one side. All lock(s) to be keyed alike. *Contractor is to call and arrange for a Header Inspection when the old entry door unit(s) are removed. After inspection is made and photo documentation obtained, if it is shown that no header is present, it is the contractor's responsibility to install a new header. Once the new header is installed a second inspection is required so that additional photo documentation can be obtained for files. Only after photo documentation has been obtained can the new entry door unit be installed.</p>	<p>back door</p>	
<p>Weather-strip and install new aluminum threshold(s) on exterior door (s). New weather-stripping shall be approximately 3/4" width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.</p>	<p>storage rm ext door</p>	
<p>Caulk all exterior sides of windows and doors.</p>		
<p>Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.</p>		

3228 Bellwood (continued)

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

TOTAL \$

Project Number: **CD-12941**
Address: **3228 BELWOOD**
Inspection Date: **6/20/2017**



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Case Number: CD-12947

Address: 2903 ELLBEE

Question	Comment	Amount
Remove existing window frame unit. Remove existing rotten lumber around window unit and replace with new #2 or better grade lumber. Replace with single paned aluminum window, factory weather stripped with full locking capabilities. Include ne 1/2 screen on window. Lead test required.	Master bedroom	
Install mill finish storm windows on all exterior windows. Storm windows to be factory weather-stripped, capable of being securely locked and equipped with aluminum or vinyl screen. Frames shall be well caulked to insure minimum air infiltration. Irregular sizes shall be custom made to insure adequate and secure fit. *Excluding windows with A/C units.		
Replace all broken window panes with new plexiglass of accurate size.	back bathroom	
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL	\$

Project Number: **CD-12947**
Address: **2903 ELLBEE**
Inspection Date: **6/23/2017**



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Case Number: CD-12951
Address: 3005 DOE RUN

Question	Comment	Amount
Install vinyl tub surround kit around bathtub area. Vinyl shall be securely glued to minimum 3/8" plywood and cased with cap moulding. Do not use nails in tileboard.	bathroom #2	
Install new 24" chrome plated grab bar in bathroom, located near tub. Firmly secure by minimum 1 1/4" screws to studs or 2" x 6" blocking. Mount bar at a 45° angle.	master tub	
Install mill finish storm windows on all exterior windows. Storm windows to be factory weather-stripped, capable of being securely locked and equipped with aluminum or vinyl screen. Frames shall be well caulked to insure minimum air infiltration. Irregular sizes shall be custom made to insure adequate and secure fit. *Excluding windows with A/C units.	garage entrance	
Weather-strip and install new aluminum threshold(s) on exterior door (s). New weather-stripping shall be approximately 3/4" width rigid aluminum with vinyl bead on the end, nailed to the inside and bead pressing firmly against the door. Jamb shall be tightened or caulked in such a manner as to prevent outside air from entering residence.	front door	
Rehang existing exterior door(s) in such a manner as to insure proper, plumb and secure fit. Make any and all necessary adjustments to frame and walls to insure proper fit. Replace door casing(s) and jamb. Lead test required.	just replace exterior casing on front door	
Caulk all exterior sides of windows and doors.		
Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.		
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.	install new attic access stairway	

3005 Doe Run (continued)

Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.

	TOTAL \$
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Project Number: **CD-12951**
Address: **3005 DOE RUN**
Inspection Date: **6/26/2017**



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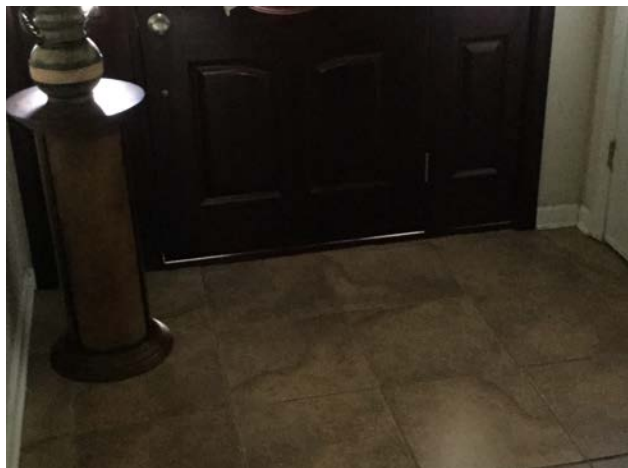


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Project Number: **CD-12951**
Address: **3005 DOE RUN**
Inspection Date: **6/26/2017**



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6/26/2017 10:52:27 AM

Case Number: CD-12984

Address: 2404 Madeline

Question	Comment	Amount
Install vinyl tub surround kit around bathtub area. Vinyl shall be securely glued to minimum 3/8" plywood and cased with cap moulding. Do not use nails in tileboard.	Master bathroom	
Install new / remove and replace handrails. Use only treated lumber.	replace floor decking on front porch	
Replace all broken window panes with new plexiglass of accurate size.	3'x3' back of the house	
Insulate attic according to "blown in attic insulation specifications". Contractor to be responsible for attic access for sub-contractor, including the installation of new scuttle hole where applicable. Care shall be exercised to provide 6" clearance on all sides of all gas flues. Contractor to be responsible for any loose ceiling tile dislodged by weight of insulation.	Back addition	
Weather-strip attic hatch / drop-down stairway panel with 3#M2743 type weather stripping or agency approved equal. Insulate attic hatch / drop-down stairway panel with Kraft backed R-19 insulation (or equal), securely stapled.		
Remove all standard light bulbs in ceiling fixtures throughout interior of house and replace with #15 watt compact fluorescent bulbs. This will be in compliance with the energy star conservation guidelines. (Comparable to 60-watt incandescent bulbs). Do not leave uninstalled light bulbs onsite.		
Lead safe work practices and interim controls are required to address potentially positive areas. For this project, interim controls shall be removal and replacement of items listed above. The Contractor is responsible to contact the Community Development Lead Testing Sub-contractor to coordinate a sampling at least one week in advance. A Lead Base Paint wipe sampling must be conducted within 60 minutes after ALL renovations are complete and the clean-up procedure is finished by the Contractor. The issuance of the Certificate of Completion and Contractor payment will be held until a passed sample test is achieved. Community Development will pay for one clearance test. In the event that the one clearance test fails, the Contractor final payment amount shall be deducted by the cost of any additional clearance wipe tests required until a clean wipe test is achieved. All Lead Testing Inspectors and Labs shall be ordered / selected through Community Development. All clearance wipe samplings must be completed by a certified lead based paint inspector and the results for the sampling must to be received by a certified laboratory with National Lead Laboratory Accreditation Program (NLLAP). Awarded Contractor must hold a current EPA Lead Safe Practices Certification at a minimum, however, Certified Renovators Certification (800-424-5323 x.3) is preferred to be eligible for project award.		
	TOTAL \$	

Project Number: **CD-12984**
Address: **2404 Madeline**
Inspection Date: **7/26/2017**



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